LOT 5C, SOLA SUBDIVISION FILING NO. 1, REPLAT C, COUNTY OF BOULDER, STATE OF COLORADO

#### SITE NOTES

1. PRIOR TO STARTING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.

2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING

3. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY MAH ARCHITECTURAL GROUP OF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.

4. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTORS FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS

5. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS, AND THE SOILS REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING THEM WITH SUITABLE MATERIALS PER THE CIVIL DRAWINGS AND SOILS REPORT. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, REGISTERED MITHIN THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THE SOILS REPORT.

6. ARCHITECTURAL FEATURES (I.E. BAY WINDOWS, FIREPLACES, ROOF OVERHANG, FOUNDATIONS, FOOTINGS, CANTILEVERED WALLS, ETC.) ARE NOT ALLOWED TO ENCROACH INTO ANY EASEMENT OR FIRE LANE.

7. HANDICAP ACCESS TO BUILDING IS DESIGNED ACCORDING TO APPLICABLE CODE. G.C. TO ENSURE THAT ALL DIRECTIONS AND DIMENSIONS GIVEN ARE STRICTLY ADHERED TO. IF CHANGES ARE MADE THAT CONTRADICT WITH THE DRAWING, OR IF EXISTING FIELD CONDITIONS MAKE THE DRAWINGS NOT APPLICABLE, THE ARCHITECT MUST BE CONTACTED IMMEDIATELY.

8. WATER SERVICE MATERIALS SHALL BE COPPER TYPE "K". DIAMETER SHALL BE AS NOTED ON THESE PLANS AND SHALL BE INSTALLED WITH 24" MINIMUM COVER OR BELOW FROSTLINE WHICH EVER IS GREATER. CONTRACTORS PRICE FOR WATER SERVICE SHALL INCLUDE ALL FEES AND APPURTANCES REQUIRED BY THE UTILITY TO PROVIDE A COMPLETE WORKING

9. OWNER SHALL MONITOR NOISE LEVELS TO REMAIN WITHIN LIMITS OF CITY CODE.

10. REFER TO CIVIL FOR MORE INFORMATION.

#### SITE DATA TABLE

ZONING	C-1 REGIONAL BUSINESS & PLANNED UNIT DEVELOPMENT					
SITE DEVELOPMENT AREA	31,956 SQ. FT.	31,956 SQ. FT. OR 0.733 ACRES				
LAND USE	DRIVE-THROUG	H COFFEE SHO	>			
BUILDING OCCUPANCY	A-2 (ASSEMBL)	()				
TYPE OF CONSTRUCTION	V-B					
BUILDING INFORMATION	1. BUILDING S.F.: 1,832 S.F. 2. NUMBER OF STORIES: (1) STORY					
BUILDING HEIGHT	35'-0" MAXIMUM	1	22'-6" PROPOSED			
SETBACKS	20' FRONT SETE O' SIDE SETBAC O' REAR SETBA	KS REQUIRED	28' FRONT SETBACK PROVIDED O' SIDE SETBACKS PROVIDED 12' REAR SETBACK PROVIDED			
PARKING	(13) SPACES RI (1 SPACE / 150 FLOOR AREA) 1,832/150=12	SF	(17) SPACES PROPOSED  * (16) ON-SITE STANDARD PARKING SPACES @ 9'X19'  * (1) ON-SITE ADA AND VAN ACCESSIBLE PARKING SPACE @ 9'X19' W/ ADJACENT ACCESS AISLE 8'X19'			
CAR STACKING	(14) STACKING	SPACES PROV	DED			
BICYCLE PARKING	(4) SPACES PRO	OVIDED				
UTILITY PROVIDERS	1. WATER: CITY OF LAFAYETTE 2. WASTEWATER: CITY OF LAFAYETTE 3. POWER: XCEL					
AREA OF LANDSCAPING	9,645 S.F.	9,645 S.F. 30.19%				
AREA OF SIDEWALK AND PATIO	3,694 S.F.	1 1.5 7%				
AREA OF BUILDING COVERAGE	1,832 S.F.	5.74%				
AREA OF DRIVEWAYS AND PARKING	16,769 S.F.	52.50%				

#### PROJECT INFORMATION

PROJECT: NEW DRIVE-THROUGH COFFEE BUILDING PROJECT ADDRESS: 2396 BALMSTONE DRIVE LAFAYETTE CO 80026 LEGAL DESCRIPTION: LOT 5C, SOLA SUBDIVISION FILING NO. 1, REPLAT C, COUNTY OF BOULDER, STATE OF COLORADO

#### SCOPE OF WORK

PROJECT SCOPE INCLUDES NEW BUILDING AND ASSOCIATED SITE WORK.

NEW SITE WORK INCLUDES: GRADING, CONCRETE CURBS AND DRIVEWAYS, CONCRETE SIDEWALKS / PATIOS, PARKING LOT AND PEDESTRIAN LIGHTS, TRASH ENCLOSURE, BIKE RACKS, LANDSCAPING, UTILITIES, AND STREETSCAPE AS NOTED ON PLANS.

NEW BUILDING WORK INCLUDES: CONCRETE FOUNDATIONS AND SLAB, EXTERIOR WALLS / CANOPIES / LIGHT FIXTURES, ROOFING, AND ELECTRICAL PANELS / LIGHTING / TELEPHONE

SITE SIGNAGE UNDER SEPARATE PERMIT

#### PROJECT CONTACTS

MAH ARCHITECTURAL GROUP ANN ERISMAN 1385 S. COLORADO BLVD. DENVER, CO 80222 303.778.0608 EMAIL: ann@maharch.com CIVIL ENGINEER: HCI ENGINEERING COLE HABERER, P.E.

LITTLETON, CO 80120 303.979.3900 EMAIL: coleh@haberergroup.com LANDSCAPE ARCHITECT: JUMP DESIGN COMPANY

TOM JUMP, ASLA 1733 SOUTH CLARKSON STREET DENVER, CO 80120 303.282.0463 EMAIL: tomj@jumpdesignco.com

SOILS ENGINEER: LANDMARK ENGINEERING LTD. LARRY MILLER, P.G. 3521 WEST EISENHOWER BLVD. LOVELAND, CO 80538 PHONE: 970.667.6286

TRAFFIC ENGINEER: DELICH ASSOCIATES JOSEPH M. DELICH, P.E. PTOE LOYELAND, CO 970.669.2061 joseph@delichassoc.com

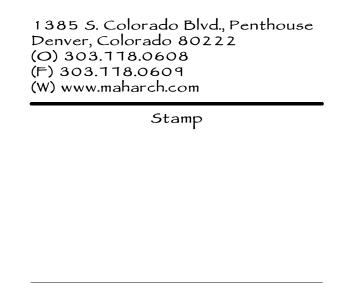
#### DRAMING INDEX

ARCHITECTURAL COVER SHEET A 1.0 ARCHITECTURAL SITE PLAN ARCHITECTURAL SITE DETAILS A 1.1 MENU BOARD DETAILS A 1.2 TRASH ENCLOSURE A2.0 A3.0 EXTERIOR ELEVATIONS (1, A3.1 EXTERIOR ELEVATIONS (2) BUILDING PERSPECTIVES A3.2 SITE PHOTOMETRIC PLAN A4.1 LIGHT FIXTURES 621 SOUTHPARK DRIVE, #1600 CIVIL C2.0 SITE PLAN C3.0 C4.0 GRADING PLAN UTILITY PLAN PRIVATE DETAILS (1 C5.0 PRIVATE DETAILS (2)

LANDSCAPE AND IRRIGATION LANDSCAPE PLAN LANDSCAPE DETAILS L 1.1 11.0 IRRIGATION PLAN 11.1 IRRIGATION DETAILS IRRIGATION DETAILS

PROJECT LOCATION Prana Apartment Homes S 112th St Luna Bella Apai Cherrywood Park The Learning Experience - Lafayette DISTANCE TO MURPHY EXPRESS POINT OF SALE = 398 FT. (>150 FT.) 2396 Balmstone Drive PowerBack Rehabilitation, Lafayette Adventure Montessori DISTANCE TO BLUE CREDIT UNION POINT OF SALE = 282 FT. (>150 FT.) DISTANCE TO DAIRY QUEEN POINT OF SALE = 195 FT. (>150 FT.) Exempla Cir ated Sports & Spine P 1A Parking 2A Visitor Parking Good Samaritan Medical Center: Emergency Room Raiser Permanente Rock Creek Medical Offices Good Samaritan Medical Center XOA T. Nguyen, Pharm





MAH

Group

Notes

## DO NOT SCALE THE DRAWINGS,

Request verification of dimensions from the Architect as required.

The General Contractor shall check and verify all levels, datums and dimensions and shall report any and all errors and omissions to the Architect immediately. This drawing is to be read in conjunction

with structural, mechanical, electrical and/or any other consultants drawings that may be

Issues: SUBMITTAL #1 12.04.20 SUBMITTAL #2 01.28.21 SUBMITTAL #3 05.14.21 SUBMITTAL #4 07.02.21 SUBMITTAL #5 09.07.21

> Scale NOT TO SCALE

Date Drawn

DECEMBER 4, 2020

Drawn By

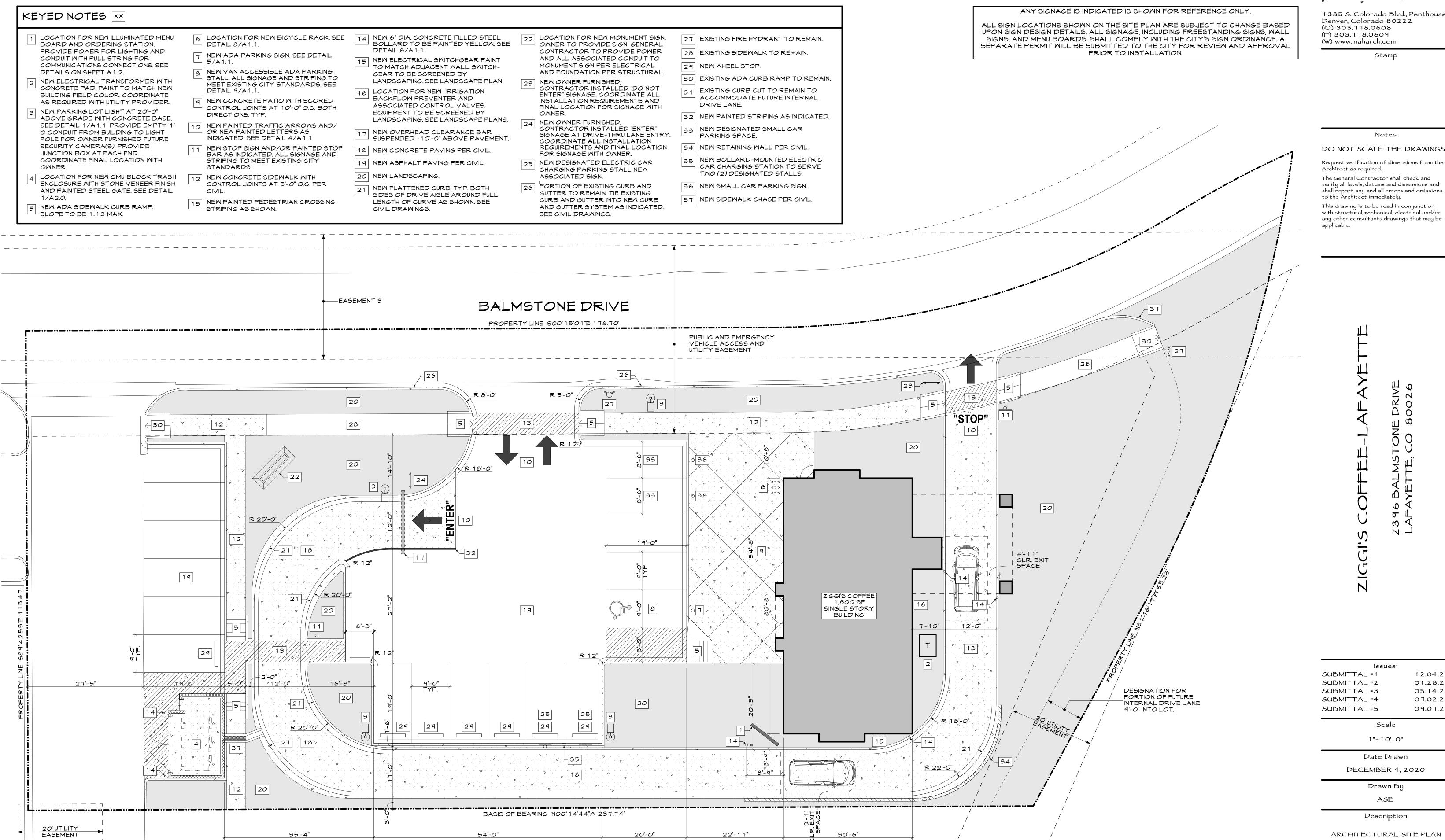
Description

ARCHITECTURAL COVER SHEET

Sheet Number

Ao.o

LOT 5C, SOLA SUBDIVISION FILING NO. 1, REPLAT C, COUNTY OF BOULDER, STATE OF COLORADO



ARCHITECTURAL SITE PLAN A 1.0 | SCALE: 1" = 10'



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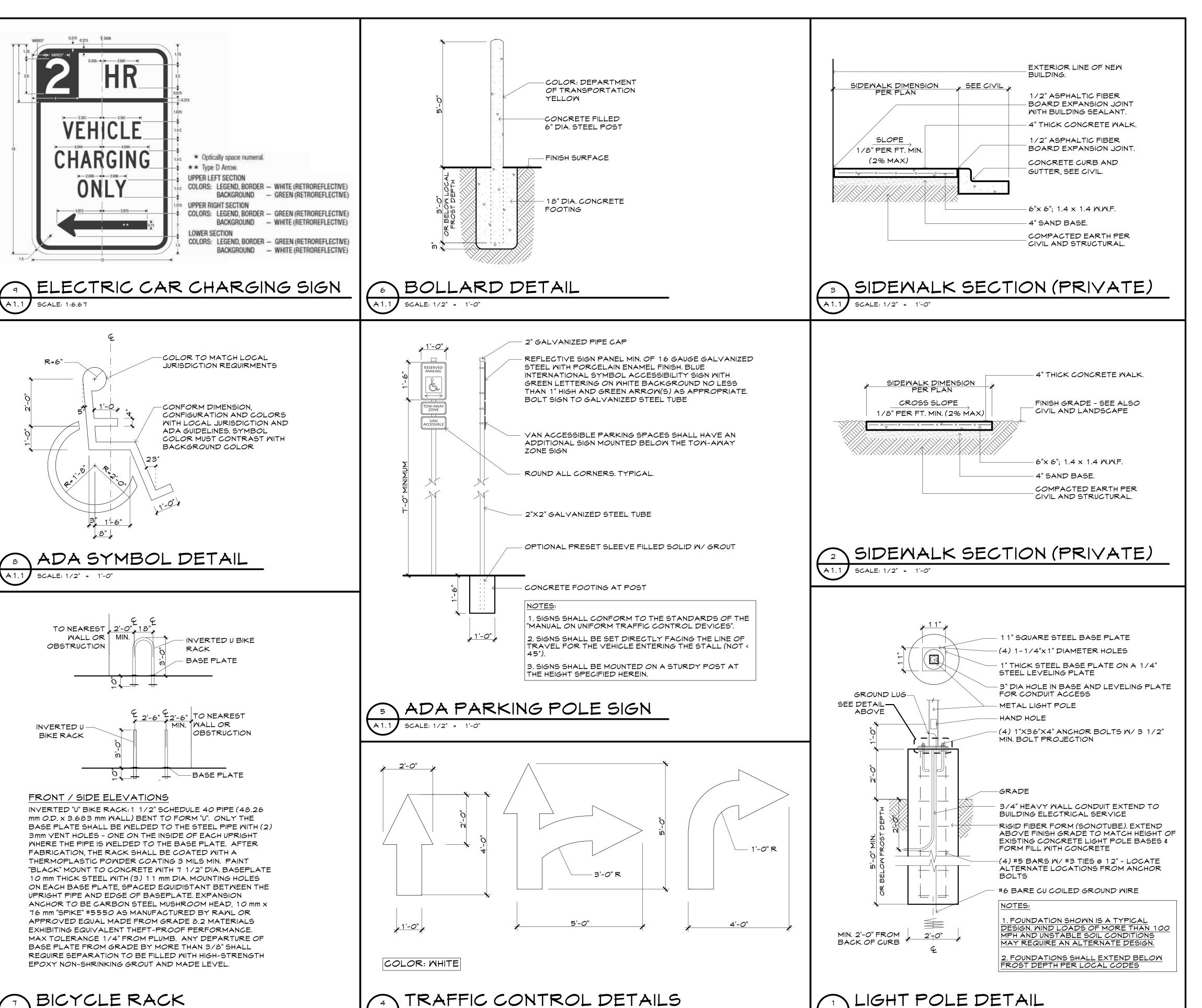
Sheet Number

A 1.0

LOT 5C, SOLA SUBDIVISION FILING NO. 1, REPLAT C, COUNTY OF BOULDER, STATE OF COLORADO

SCALE: 1/2" = 1'-0"

SCALE: 1/4" = 1'-0"



SCALE: 1/2" = 1'-0"

MAH Architectural Group

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> > Stamp

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other consultants drawings that may be cable.

2396 BALMSTONE DRIVE

| Submittal #1 | 12.04.20 | Submittal #2 | 01.28.21 | Submittal #3 | 05.14.21 | Submittal #4 | 01.02.21 | Submittal #5 | 09.01.21

Scale
VARIES-SEE PLAN

Date Drawn

DECEMBER 4, 2020

Drawn By ASE

Description

ARCHITECTURAL SITE DETAILS

Sheet Number

A1.1

LOT 5C, SOLA SUBDIVISION FILING NO. 1, REPLAT C, COUNTY OF BOULDER, STATE OF COLORADO



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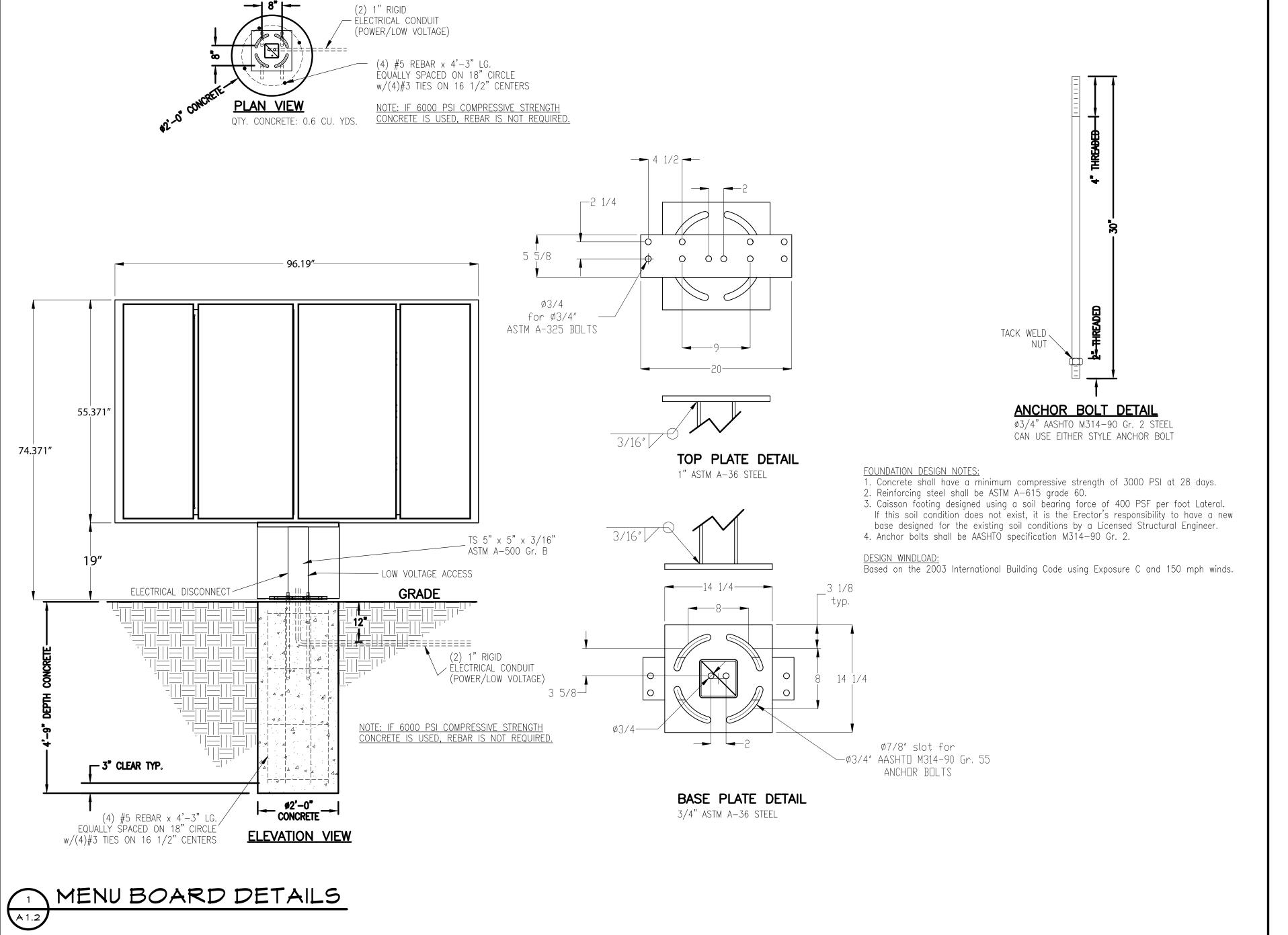
Notes

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# S COFFEE-LAFAYETTE

lssues:	
SUBMITTAL # 1	12.04.2
SUBMITTAL #2	01.28.2
SUBMITTAL #3	05.14.2
SUBMITTAL #4	07.02.2
SUBMITTAL #5	09.07.2

Scale

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DECEMBER 4, 2020

Drawn By

ASE

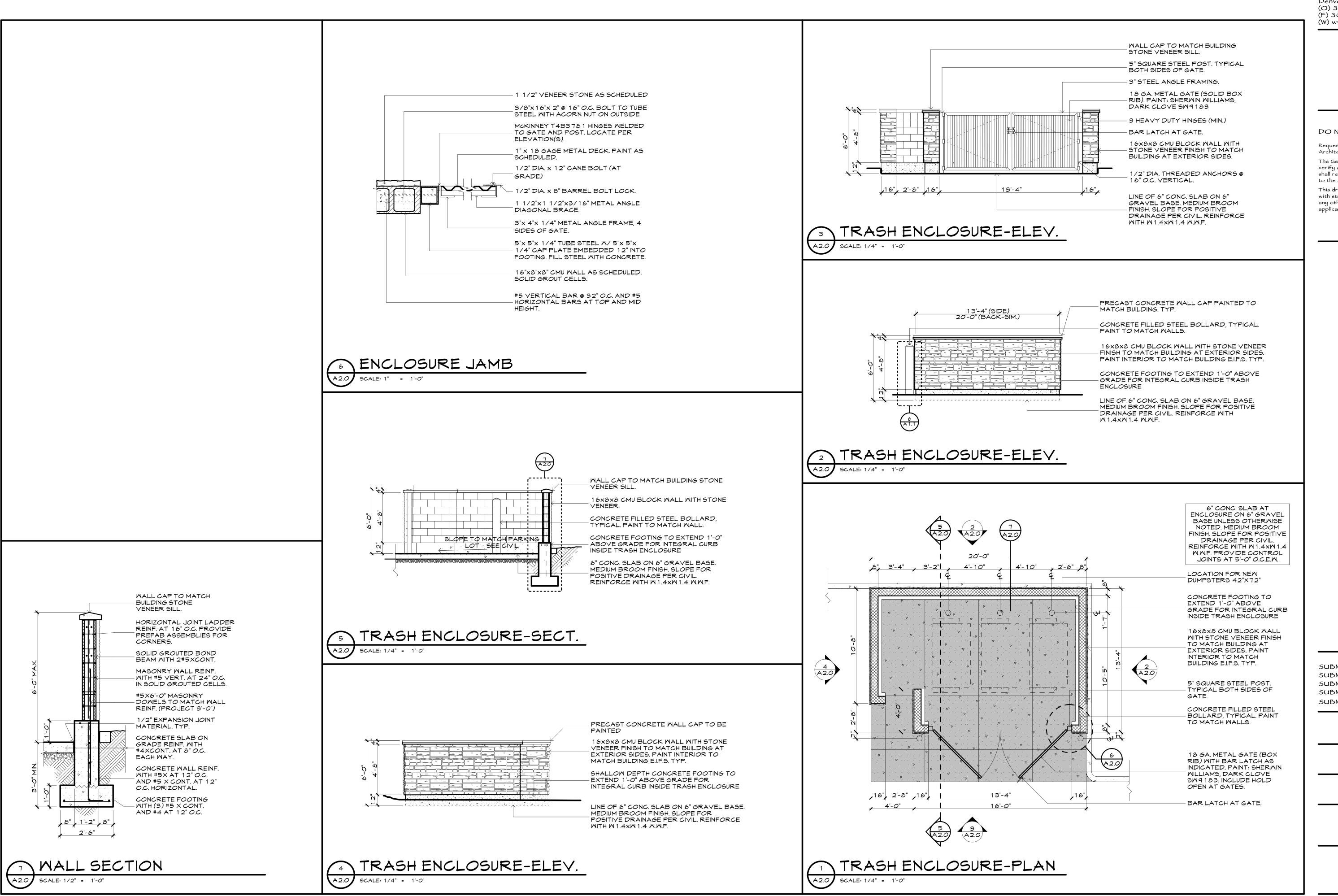
Description

MENU BOARD DETAILS

Sheet Number

A1.2

LOT 5C, SOLA SUBDIVISION FILING NO. 1, REPLAT C, COUNTY OF BOULDER, STATE OF COLORADO





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2396 BALMSTONE DRIVE

12.04.20
01.28.21
05.14.21
07.02.21
09.07.21

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Scale

VARIES-SEE PLAN

DECEMBER 4, 2020

Date Drawn

Drawn By

ASE

Description

TRASH ENCLOSURE

Sheet Number

A2.0

LOT 5C, SOLA SUBDIVISION FILING NO. 1, REPLAT C, COUNTY OF BOULDER, STATE OF COLORADO

ALL SIGNAGE IS SHOWN FOR REFERENCE ONLY.

SEPARATE SIGNAGE PERMIT(S) REQUIRED.
SIGNAGE TO BE APPLIED FOR UNDER A SEPARATE
PERMIT APPLICATION.

#### OVERALL BUILDING MATERIALS

MATERIAL	SQUARE FOOTAGE	PERCENTAGE
AREA OF EIFS STUCCO	1,235.99 S.F.	29.99%
AREA OF RECLAIMED WOOD SIDING	1,051.73 S.F.	25.52%
AREA OF NON-REFLECTIVE GLAZING	712.39 S.F.	17.28%
AREA OF STONE VENEER	632.52 S.F.	15.35%
AREA OF METAL PARAPET TRIM	286.65 S.F.	6.96%
AREA OF CORRUGATED METAL	202.26 S.F.	4.91%
BUILDING TOTALS	4,121.54 S.F.	100%

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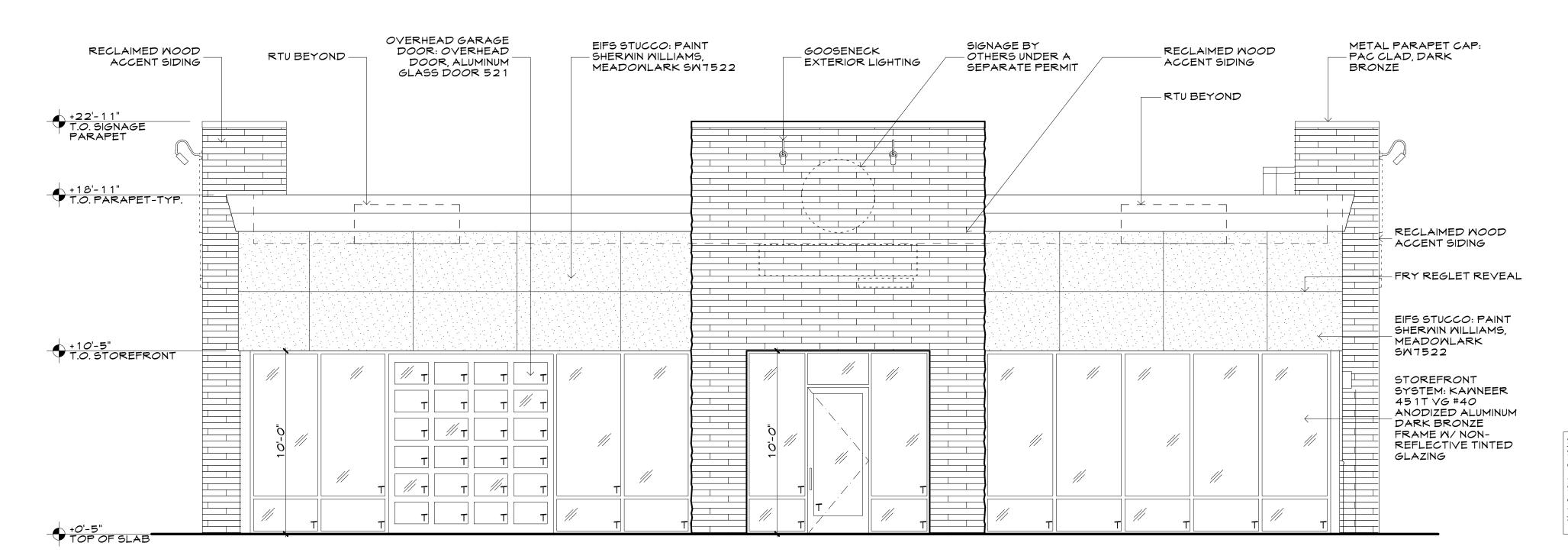
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EAST ELEVATION MATERIALS
STUCCO 24 1.78 S.F. 30%
GLAZING 88.18 S.F. 11%
WOOD 303.86 S.F. 37%
STONE 46.27 S.F 6%
CORRUG 101.13 S.F. 12%
METAL 33.84 S.F. 4%
TOTAL 815.06 100%

STOREFRONT SYSTEM: KAWNEER 451T VG #40 ANODIZED - ALUMINUM DARK BRONZE FRAME RECLAIMED RECLAIMED WOOD METAL PARAPET CAP: - WOOD ACCENT ACCENT SIDING PAC CLAD, SLATE GREY M/ NON-REFLECTIVE TINTED SIDING NON-REFLECTIVE METAL SIDING: 1-1/4" X 1/4" GLAZING METAL PAINTED FRY REGLET LADDER. PAINT: CORRUGATED METAL REVEAL - SHERMIN MILLIAMS, PANEL +22'-11" T.O. SIGNAGE PARAPET DARK CLOVE SM9183 SIGNAGE BY OTHERS - UNDER A SEPARATE PERMIT +18'-11" T.O. PARAPET-TYP. EIFS STUCCO: PAINT SHERMIN MILLIAMS, SW 6085, SIMPLIFY +10'-5" T.O. STOREFRONT INTEGRATED AIR CURTAIN AT - SERVICE MINDOM: QUIKSERV IFT-4860E, DARK BRONZE MALL MOUNTED EXTERIOR LIGHTING EIFS STUCCO: PAINT EIFS STUCCO: PAINT SHERWIN WILLIAMS, SHERMIN MILLIAMS, DARK CLOVE SM9183 MEADONLARK SM7522 +4'-5"
T.O. MAINSCOT STONE VENEER: BORAL CULTURED STONE, CHARDONNAY, COUNTRY LEDGESTONE. +0'-5"
TOP OF SLAE

2 EAST ELEVATION

A3.0 SCALE: 1/4" = 1'-0"



SOUTH ELEV	ATION MATE	RIALS
STUCCO	288.36 S.F.	22%
GLAZING	540.42 S.F.	42%
MOOD	363.89 S.F.	28%
STONE	0 S.F.	0%
CORRUG	0 S.F.	0%
METAL	90.17 S.F.	8%
TOTAL	1,282.84	100%

SOUTH ELEVATION

A3.0 SCALE: 1/4" = 1'-0"

SUBMITTAL # 1 12.04.20 SUBMITTAL # 2 01.28.2 1 SUBMITTAL # 3 05.14.2 1 SUBMITTAL # 4 01.02.2 1 SUBMITTAL # 5 09.01.2 1 Scale 1/4"=1'-0"

Date Drawn

Issues:

DECEMBER 4, 2020

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EXTERIOR ELEVATIONS (1)

Description

Sheet Number

A3.0

LOT 5C, SOLA SUBDIVISION FILING NO. 1, REPLAT C, COUNTY OF BOULDER, STATE OF COLORADO

EIFS STUCCO: PAINT EIFS STUCCO: PAINT SHERMIN MILLIAMS, – METAL PARAPET CAP: METAL PARAPET MALL MOUNTED RECLAIMED MOOD SHERMIN MILLIAMS, PRE-FINISHED PAC CLAD, DARK
BRONZE EXTERIOR CAP: PAC CLAD, -- RTU BEYOND ACCENT SIDING SM 6085, SIMPLIFY DOWNSPOUT DARK CLOVE SM9183 SLATE GREY LIGHTING +22'-11" T.O. SIGNAGE PARAPET GOOSENECK
EXTERIOR LIGHTING +20'-5"
T.O. CORNER COLUMN +18'-11" T.O. PARAPET-TYP. SIGNAGE BY OTHERS UNDER A SEPARATE PERMIT FRY REGLET REVEAL +14'-11" T.O. CANTED COLUMN EIFS STUCCO: PAINT SHERMIN MILLIAMS, MEADONLARK SM7522 STOREFRONT SYSTEM: KAMNEER 451T VG #40 ANODIZED ALUMINUM DARK BRONZE FRAME M/ NON-REFLECTIVE TINTED GLAZING RECLAIMED WOOD ACCENT SIDING +0'-5"
TOP OF SLAE

ALL SIGNAGE IS SHOWN FOR REFERENCE ONLY.
--

SEPARATE SIGNAGE PERMIT(S) REQUIRED. SIGNAGE TO BE APPLIED FOR UNDER A SEPARATE PERMIT APPLICATION.

# OVERALL BUILDING MATERIALS

MATERIAL	SQUARE FOOTAGE	PERCENTAGE
AREA OF EIFS STUCCO	1,235.99 S.F.	29.99%
AREA OF RECLAIMED WOOD SIDING	1,051.73 S.F.	25.52%
AREA OF NON-REFLECTIVE GLAZING	712.39 S.F.	17.28%
AREA OF STONE VENEER	632.52 S.F.	15.35%
AREA OF METAL PARAPET TRIM	286.65 S.F.	6.96%
AREA OF CORRUGATED METAL	202.26 S.F.	4.91%
BUILDING TOTALS	4,121.54 S.F.	100%

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Notes

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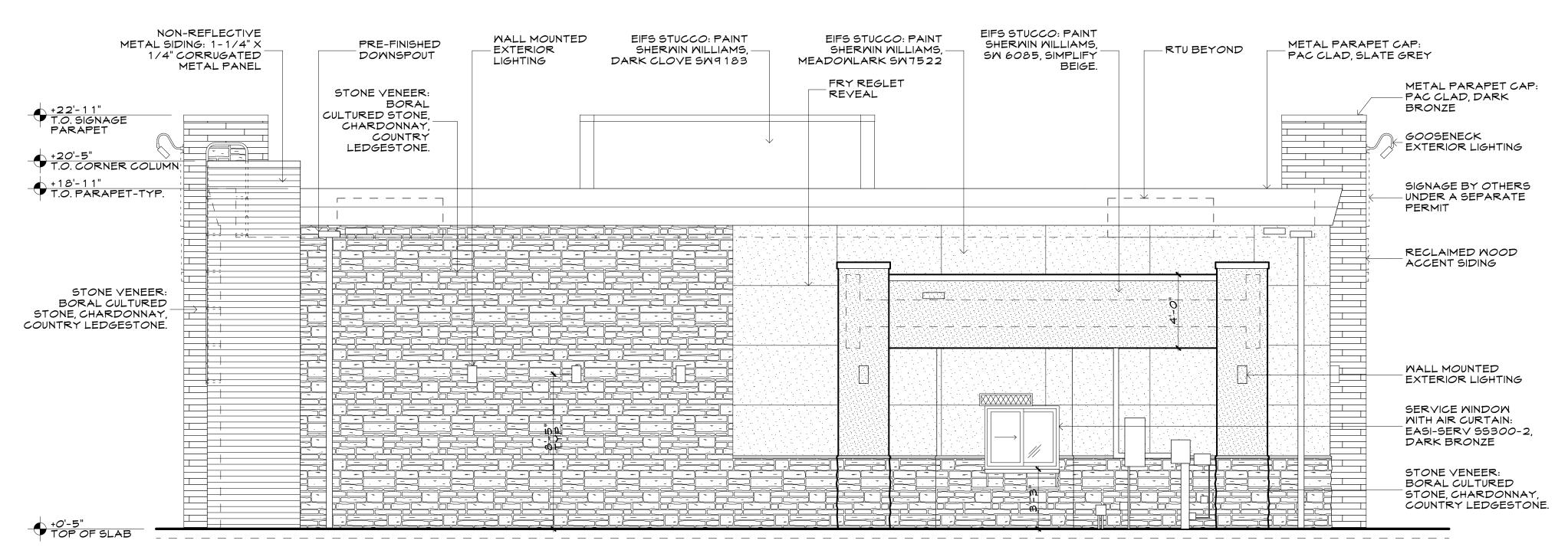
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MEST ELEVATION MATERIALS STUCCO 312.33 S.F. 39% GLAZING 69.90 S.F. 9% 298.65 37% MOOD 71.15 S.F. 9% STONE CORRUG 0 S.F. 0% METAL TOTAL 47.67 S.F. 6% 799.7 100%





NORTH EL	EVATION MATERIALS
STUCCO	393.35 S.F. 32%
GLAZING	13.89 S.F. 1%
MOOD	90.33 S.F. 7%
STONE	515.27 S.F. 42%
CORRUG	101.13 S.F. 8%
METAL	114.97 S.F. 10%
TOTAL	1,229 S.F. 1 <i>00%</i>

NORTH ELEVATION

A3.1 SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATIONS (2)

Issues:

Scale

1/4"=1'-0"

Date Drawn

DECEMBER 4, 2020

Drawn By

ASE

Description

12.04.20

01.28.21

05.14.21

07.02.21

09.07.21

SUBMITTAL #1

SUBMITTAL #2

SUBMITTAL #3

SUBMITTAL #4

SUBMITTAL #5

Sheet Number

A3.1

LOT 5C, SOLA SUBDIVISION FILING NO. 1, REPLAT C, COUNTY OF BOULDER, STATE OF COLORADO



BUILDING PERSPECTIVE (2)

A3.2) NOT TO SCALE



BUILDING PERSPECTIVE (1)

A3.2 NOT TO SCALE

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Notes

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GI'S COFFEE-LAFAYETTE

Issues:

SUBMITTAL # 1 12.04.20

SUBMITTAL # 2 01.28.21

SUBMITTAL # 3 05.14.21

SUBMITTAL # 4 07.02.21

SUBMITTAL # 5 09.07.21

Date Drawn

DECEMBER 4, 2020

Drawn By ASE

Description

BUILDING PERSPECTIVES

Sheet Number

A3.2

LOT 5C, SOLA SUBDIVISION FILING NO. 1, REPLAT C, COUNTY OF BOULDER, STATE OF COLORADO

Schedule												
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens per Lamp	LLF	Wattage	Efficiency
	В	6	WAC Lighting	WP-LED514-2(max)	endurance sign light	NA	1	WP-LED514- 3000K-60°.IES	984	1	15.155	100%
$\hat{\bigcirc}$	С	1	Gotham Architectural Lighting	EVO6WC 30/15 AR ND LSS	EVO 6IN CYLINDER, WALL MOUNT, 80 CRI, 3000K, 1500LM, NARROW DIST, CLEAR, SEMI-SPEC		1	EVO6WC_30_1 5_AR_ND_LSS.i es	1503	1	14.7	100%
	3Kblc	4	Lithonia Lighting	DSX1 LED P4 30K BLC MVOLT	DSX1 LED P4 30K BLC MVOLT	LED	1	DSX1_LED_P4_ 30K_BLC_MVOL T.ies	11026	1	125	100%
$\hat{\bigcirc}$	c-low	5	Gotham Architectural Lighting	EVO6WC 30/07 AR MWD LSS	EVO 6IN CYLINDER, WALL MOUNT, 80 CRI, 3000K, 750LM, MED WIDE DIST, CLEAR, SEMI- SPEC		1	EVO6WC_30_0 7_AR_MWD_LS S.ies	737	1	8.2	100%
	D- new	4	Lithonia Lighting	LDN6 30/10 LO6AR LD	6IN LDN, 3000K, 1000LM, CLEAR, MATTE DIFFUSE REFLECTOR, CRI80		1	LDN6_30_10_L O6AR_LD.ies	839	1	10.44	100%

			Location						Aim	
No.	Label	x	Υ	z	МН	Orientation	Tilt	x	Υ	
1	3Kblc	3.00	1489.00	20.00	20.00	0.00	0.00	3.00	1490.19	C
2	3Kblc	-64.50	1489.50	20.00	20.00	0.00	0.00	-64.50	1490.69	C
3	3Kblc	5.00	1561.50	20.00	20.00	180.00	0.00	5.00	1560.31	d
4	3Kblc	-57.50	1549.50	20.00	20.00	180.00	0.00	-57.50	1548.31	d
1	В	51.00	1496.00	20.67	20.67	0.00	60.00	51.00	1521.66	[
2	В	57.00	1496.00	20.67	20.67	0.00	60.00	57.00	1521.66	[
3	В	55.50	1561.50	20.67	20.67	180.00	60.00	55.50	1535.85	[
4	В	49.50	1561.50	20.67	20.67	180.00	60.00	49.50	1535.85	5
6	В	37.00	1523.00	20.67	20.67	90.00	60.00	62.32	1523.00	e
7	В	37.00	1529.00	20.67	20.67	85.24	60.00	62.23	1531.10	e
6	С	62.50	1498.50	20.00	20.00	177.61	0.00	62.51	1498.24	(
1	c-low	71.00	1511.50	8.50	8.50	90.00	0.00	71.26	1511.50	(
2	c-low	71.00	1517.50	8.50	8.50	90.00	0.00	71.26	1517.50	(
3	c-low	71.00	1523.00	8.50	8.50	90.00	0.00	71.26	1523.00	(
4	c-low	90.50	1533.00	8.50	8.50	90.00	0.00	90.76	1533.00	(
5	c-low	90.50	1553.50	8.50	8.50	90.00	0.00	90.76	1553.50	(
1	D-new	80.00	1548.50	10.00	10.00	90.00	0.00	80.00	1548.50	(
2	D-new	80.00	1537.50	10.00	10.00	90.00	0.00	80.00	1537.50	(
3	D-new	64.00	1560.00	10.00	10.00	0.00	0.00	64.00	1560.00	(
4	D-new	39.00	1526.00	10.00	10.00	90.00	0.00	39.00	1526.00	7

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Mir
Calc Zone #2	+	0.6 fc	7.9 fc	0.0 fc	N/A	N/A
property line	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A

SCALE: NO SCALE

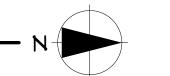
#### 6 AWG GROUND WIRE BONDED POLE (REFER TO LUMINAIRE SCHEDULE FOR BOND CONDUIT GROUND BUSHINGS AND EQUIPMENT GROUNDING CONDUCTOR TO POLE BOND GROUND WIRE TO THE POLE -BASE COVER WITH BEVEL LINE FORM BASE USING SEAMLESS LINER (NO SPIRAL LINES OR CONCRETE FLASHING ALLOWED) PROVIDE 1.5" BEVELED CORNERS. LEVELING NUT AND WASHER SACK AND PATCH SURFACE TO UNIFORM ARCHITECTURAL FINISH.-BASE HEIGHT (TBD) EXTEND BASE AS NECESSARY IN RETAINING BASE DEPTH - VERTICAL REBARS. SIZE PER (PER SCHEDULE) STRUCTURAL ENGINEER REQUIREMENTS ANCHOR GALVANIZED BOLTS PER POLE MANUFACTURER TEMPLATE -PVC CONDUIT 6 AWG COPPER BARE GROUND WIRE COILED AT THE BOTTOM OF THE BASE PRIOR TO CONCRETE POUR (OPTIONAL)-SSEMBLY HEIGHT BASE DIAMETER BASE DEPTH — PER SCHEDULE ——— 6'-6" MIN. NOTE: DIMENSIONS SHOWN FOR REFERENCE ONLY. COORDINATE WITH POLE MANUFACTURER REQUIREMENTS. LIGHT POLE MOUNTING DETAIL

NOTE: COORDINATE DETAIL SHOWN WITH PROJECT STRUCTURAL ENGINEER. NO WORK SHOULD BE

PERFORMED WITHOUT STRUCTURAL ENGINEER APPROVAL.

1 PHOTOMETRIC PLAN

A4.0 SCALE: 1" = 30'-0"



#### EXTERIOR LIGHTING DESIGN CONCEPTS

- CALCULATIONS ARE USING POINT—TO—POINT METHOD WITH TEN FEET DISTANCE BETWEEN CALCULATION GRID POINTS. SOFTWARE USED: VISUAL 2017.
- 2. THE IESNA STANDARDS REPRESENT THE LOWEST ACCEPTABLE LEVELS FOR PROPER VISIBILITY AND RECOMMEND MINIMUM MAINTAINED LIGHT LEVELS FOR OPEN PARKING LOTS AT 0.2-0.5 FOOT CANDLES LEVEL FOR ENHANCED SECURITY CONDITIONS.

#### EXTERIOR LIGHTING OPERATION REQUIREMENTS

- 1. ALL OUTDOOR LIGHTING NOT NECESSARY FOR SECURITY PURPOSES SHALL BE TURNED OFF DURING NOT-OPERATIONG HOURS. LIGHTING NECESSARY FOR PUBLIC HEALTH, SAFETY AND WELFARE PURPOSES MAY BE ACTIVATED BY MOTION SENSING DEVICES. ALL OUTDOOR LIGHTING ON PRIVATE PROPERTY SHALL BE TURNED OFF BETWEEN 11:00 PM AND SUNRISE UNLESS EXEMPTED
- 1.1. LIGHTING MAY REMAIN ON WHILE THE BUSINESS FACILITY IS OPEN TO THE PUBLIC.
   1.2. LIGHTING MAY REMAIN ON WHILE IT IS USED FOR SECURITY PURPOSES OR TO ILLUMINATE WALKWAYS, ROADWAYS, DRIVEWAYS, EQUIPMENT OR STORAGE YEARS, AND PARKING LOTS WHERE ACCESSIBLE AT NIGHT, AS APPROVED BY CITY AUTHORITIES.

#### PHOTOMETRIC CALCULATION DISCLAIMER

 LIGHTING PATTERN USED FOR LUMINAIRES REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY LUMINAIRE MAY VARY DUE TO VARIATION IN VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD AND EQUIPMENT



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Stamp

Notes

#### DO NOT SCALE THE DRAWINGS,

Request verification of dimensions from the

- Architect as required.

  The General Contractor shall check and verify all levels, datums and dimensions and shall report any and all errors and omissions to the Architect immediately.
- This drawing is to be read in conjunction with structural, mechanical, electrical and/or any other consultants drawings that may be

COFFEE-LAFAYETT

1.9 5.4 c-low 8.50 +0.0 +0.0 +0.0 +0.0 +0.0

SUBMITTAL #5
Scale

09.07.21

1" = 30'-0"

Date Drawn

DECEMBER 4, 2020

Drawn By ASE

Description

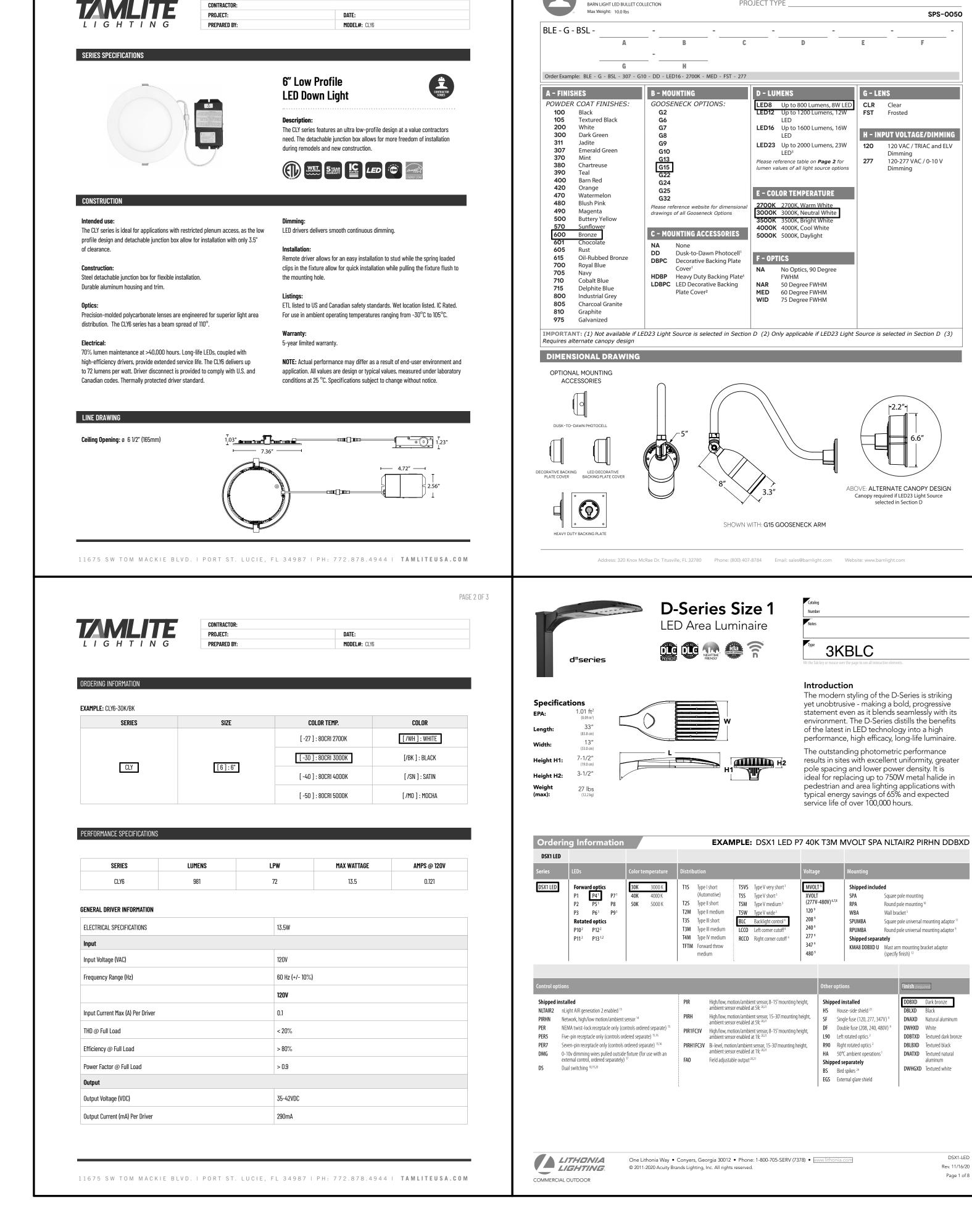
PHOTOMETRIC PLAN

Sheet Number

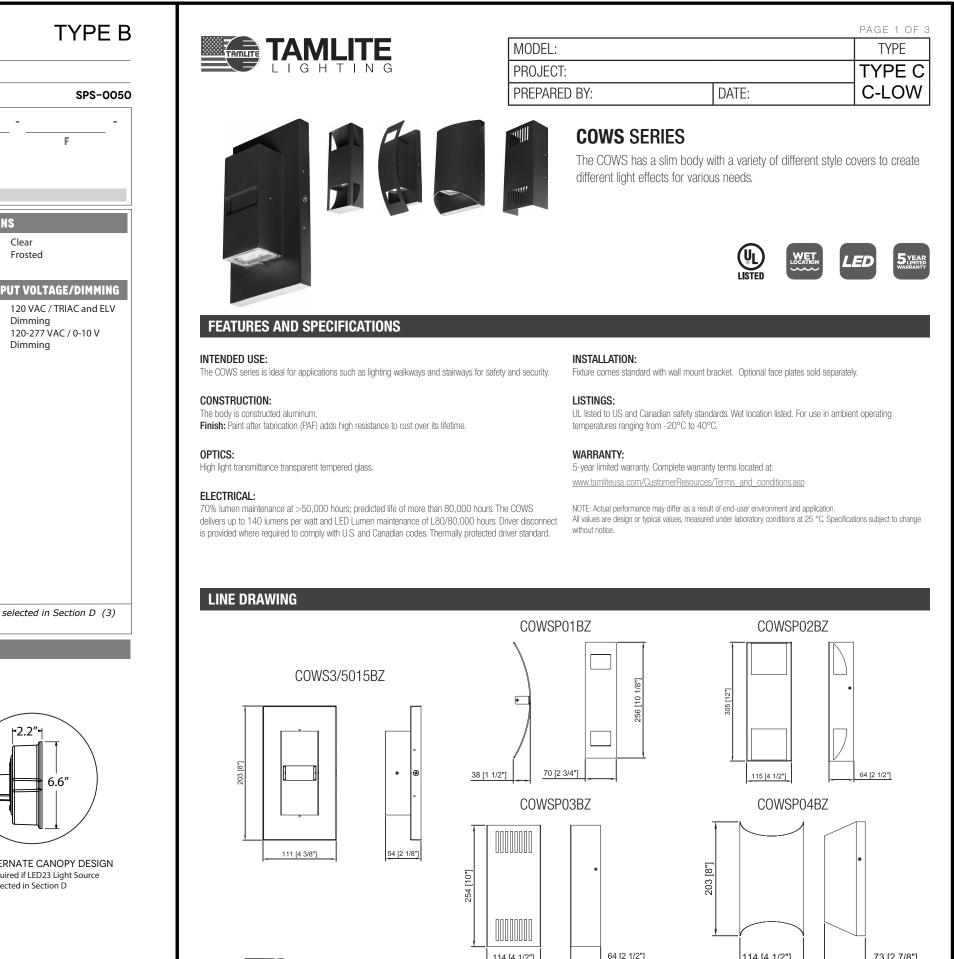
A4.0

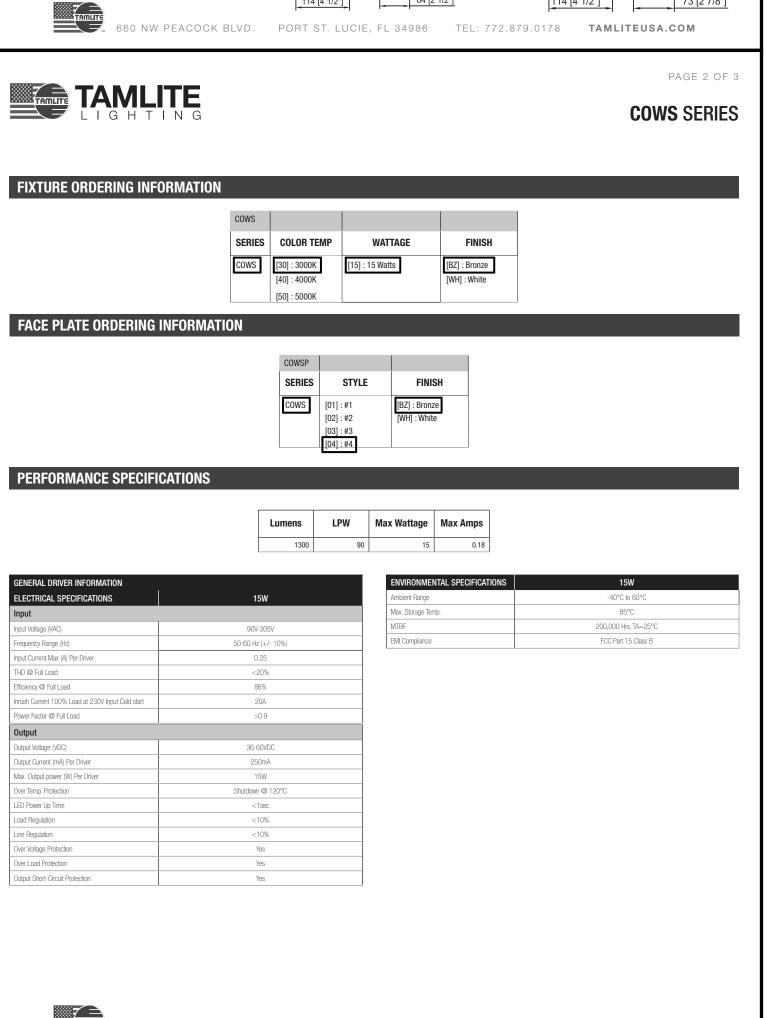
LOT 5C, SOLA SUBDIVISION FILING NO. 1, REPLAT C, COUNTY OF BOULDER, STATE OF COLORADO

BULLET GOOSENECK LED SIGN LIGHT



TYPE D PAGE 1 OF 3





660 NW PEACOCK BLVD. PORT ST. LUCIE, FL 34986 TEL: 772.879.0178 TAMLITEUSA.COM

DDBTXD Textured dark bronze

aluminum

Rev. 11/16/20

DBLBXD Textured black

**DNATXD** Textured natural

**DWHGXD** Textured white



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verify all levels, datums and dimensions and shall report any and all errors and omissions to the Architect immediately. This drawing is to be read in conjunction

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Issues: SUBMITTAL #1 12.04.20 SUBMITTAL #2 01.28.21 SUBMITTAL #3 05.14.21 SUBMITTAL #4 07.02.21 SUBMITTAL #5 09.07.21

Scale

Date Drawn

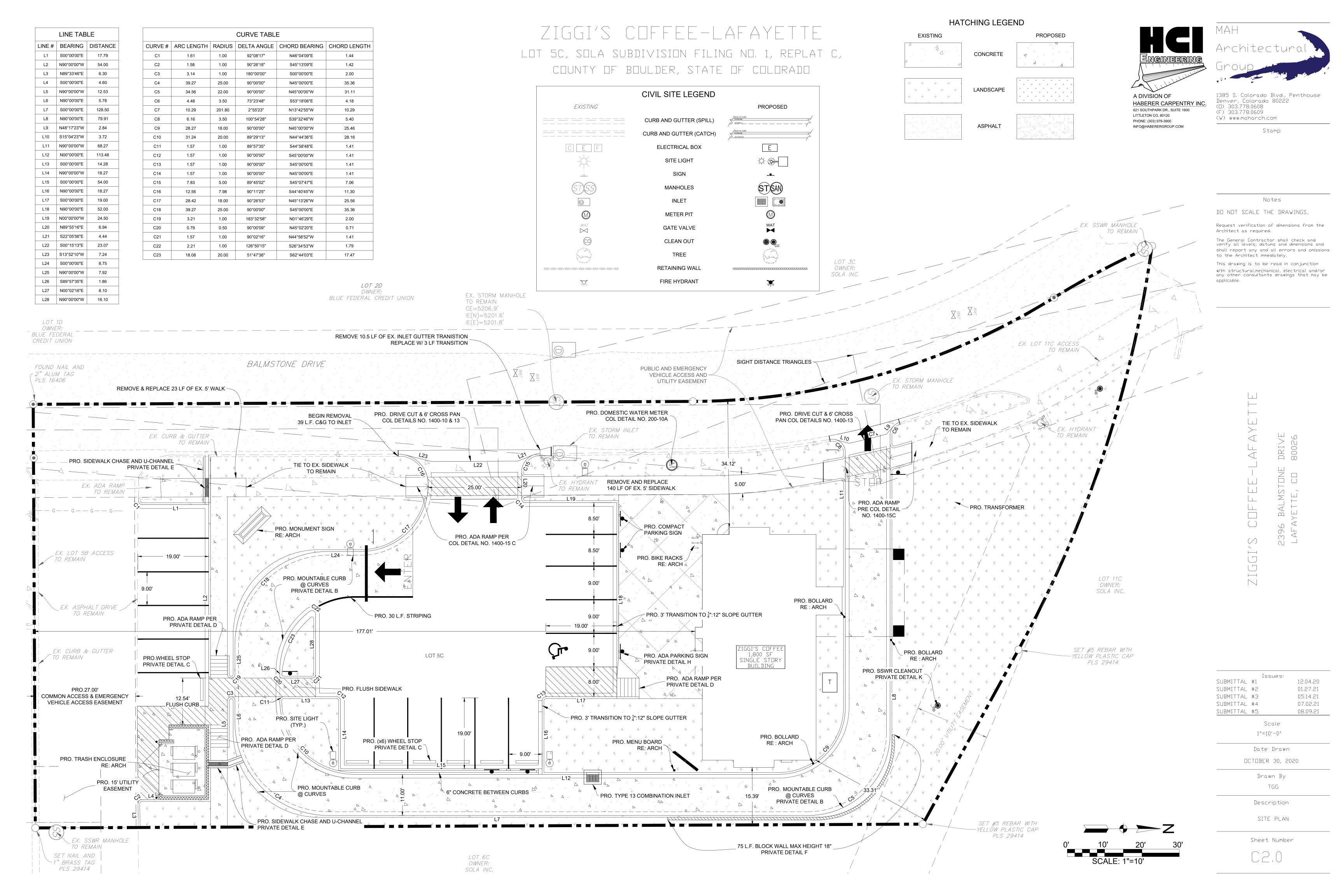
DECEMBER 4, 2020

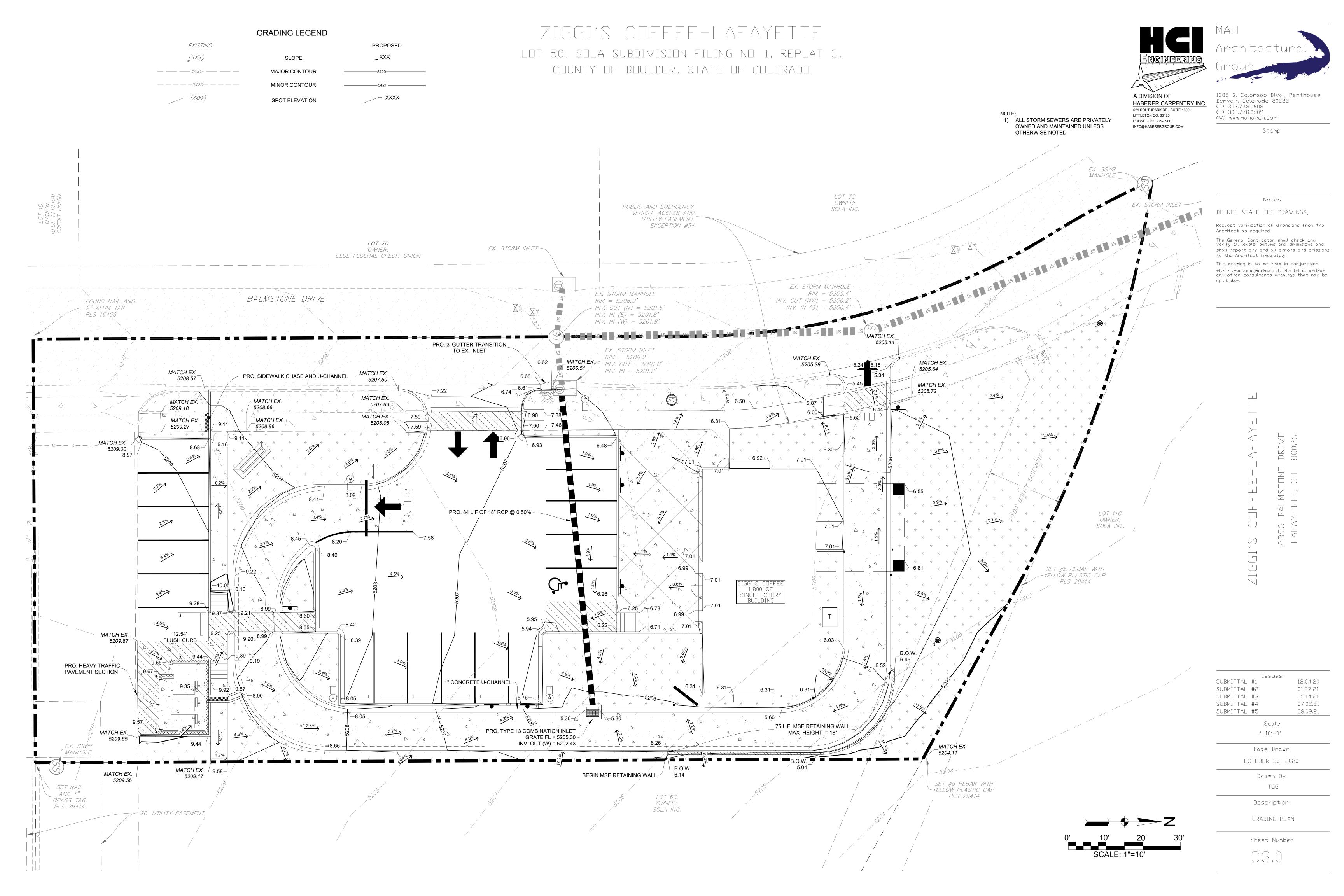
Drawn By ASE

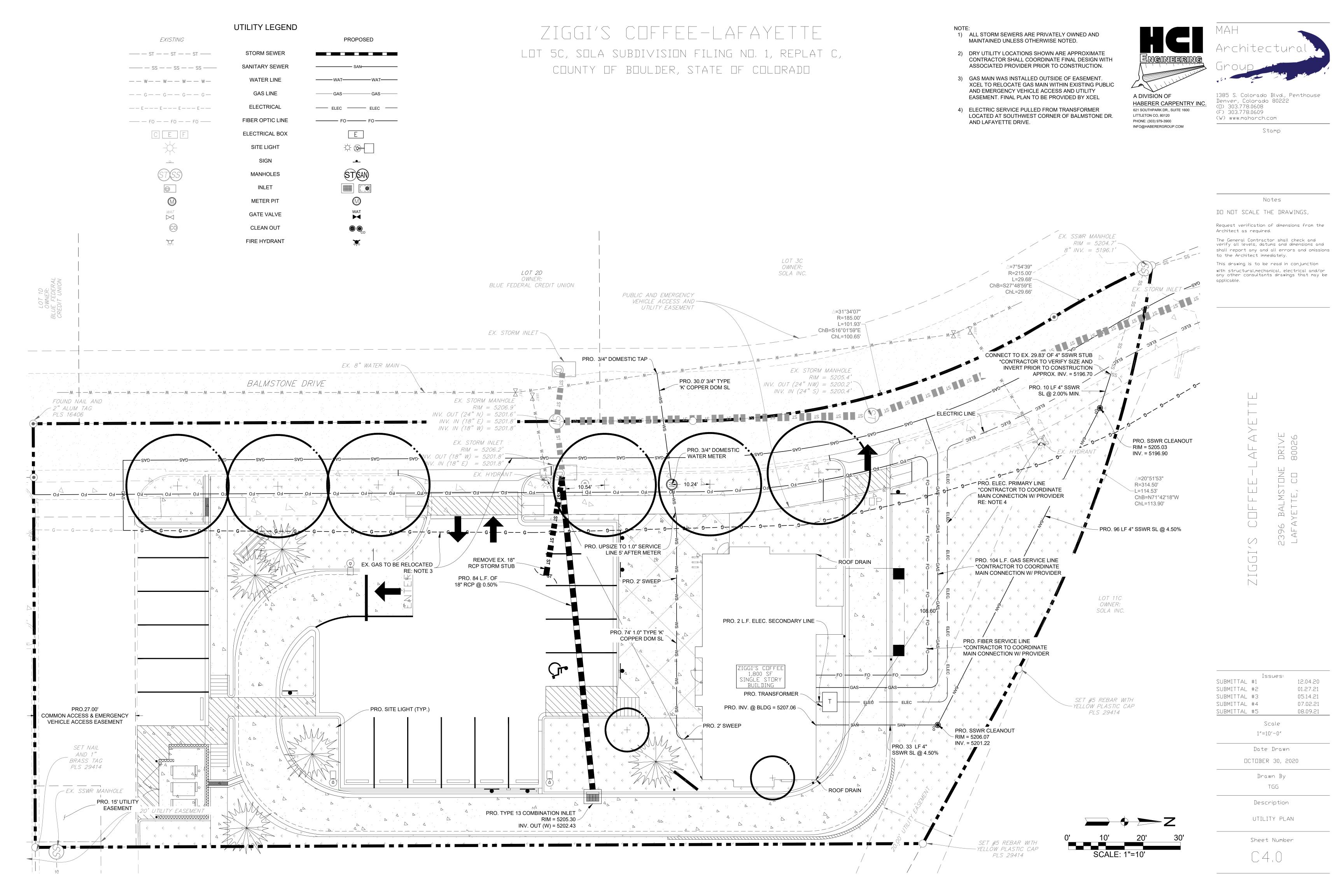
Description

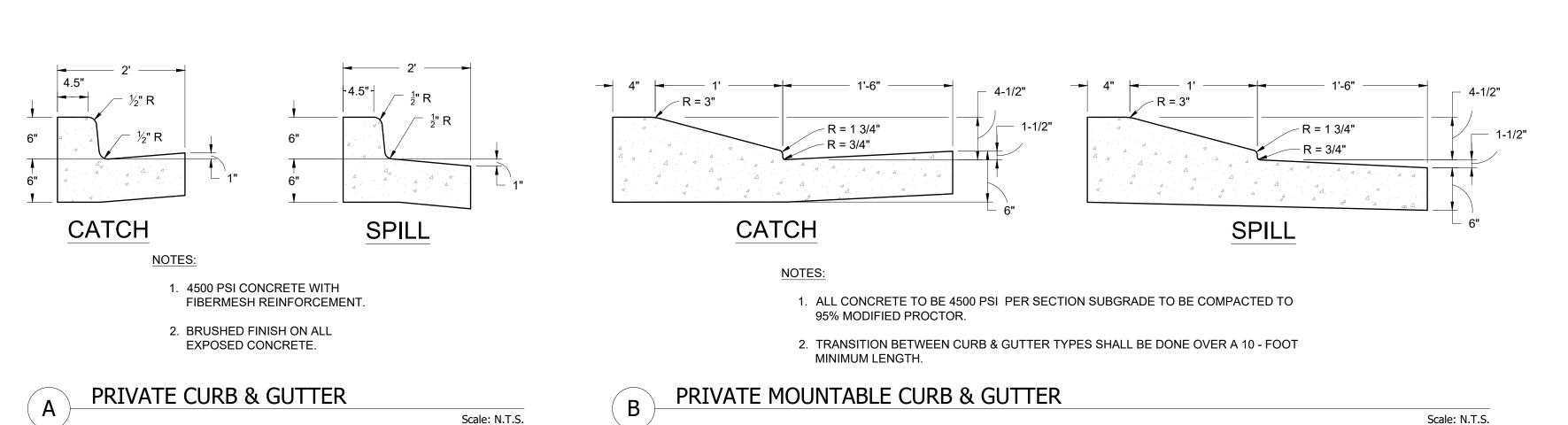
LIGHT FIXTURES

Sheet Number

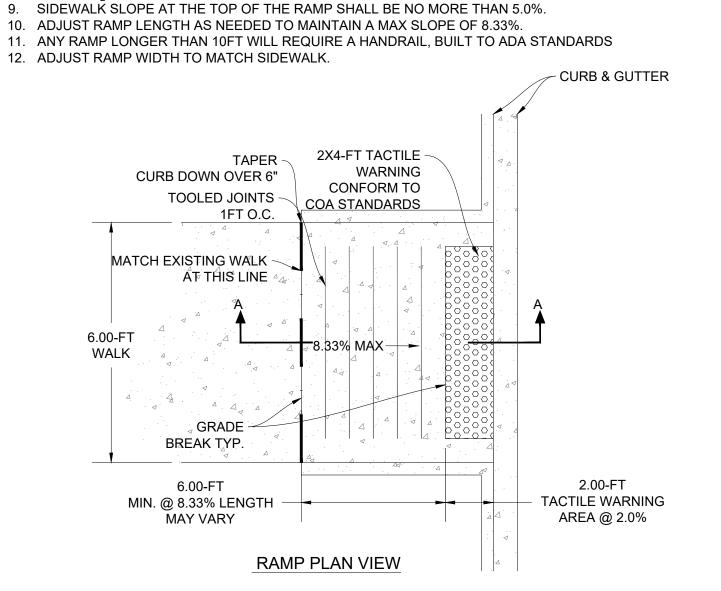








ICC/ANSI A117.1-2009 RAMP NOTES: 1. 4500 PSI CONCRETE WITH FIBERMESH REINFORCEMENT, OR 4X4 WWM WITH 2" MIN COVER.



4. COMPACT SUBGRADE PER GEOTECHNICAL RECOMMENDATIONS, COMPACT TO 95% STANDARD

7. TACTILE WARNING TO BE 2X4' PAD WITH RAISED DOMES. PROVIDE ADHESIVE YELLOW TYPE AS THE MINIMUM. REFER TO GOVERNING JURISDICTION OR ARCHITECT FOR ADDITIONAL REQUIREMENTS.

CONCRETE THICKNESS PER GEOTECHNICAL RECOMMENDATIONS - 4" MIN.

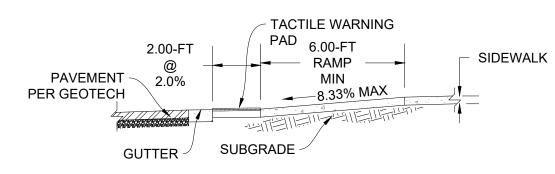
6. PROVIDE SUBGRADE BASE COARSE PER GEOTECHNICAL RECOMMENDATIONS.

BRUSHED FINISH ON ALL EXPOSED CONCRETE.

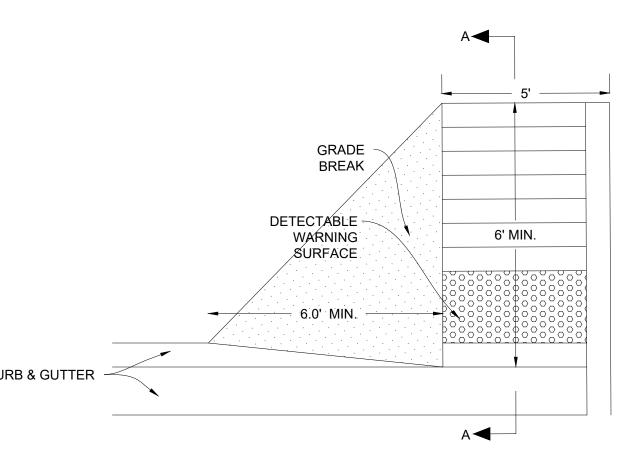
TOOL CONTRACTION JOINT IN EVERY 10FT O.C.

PROCTOR MINIMUM.

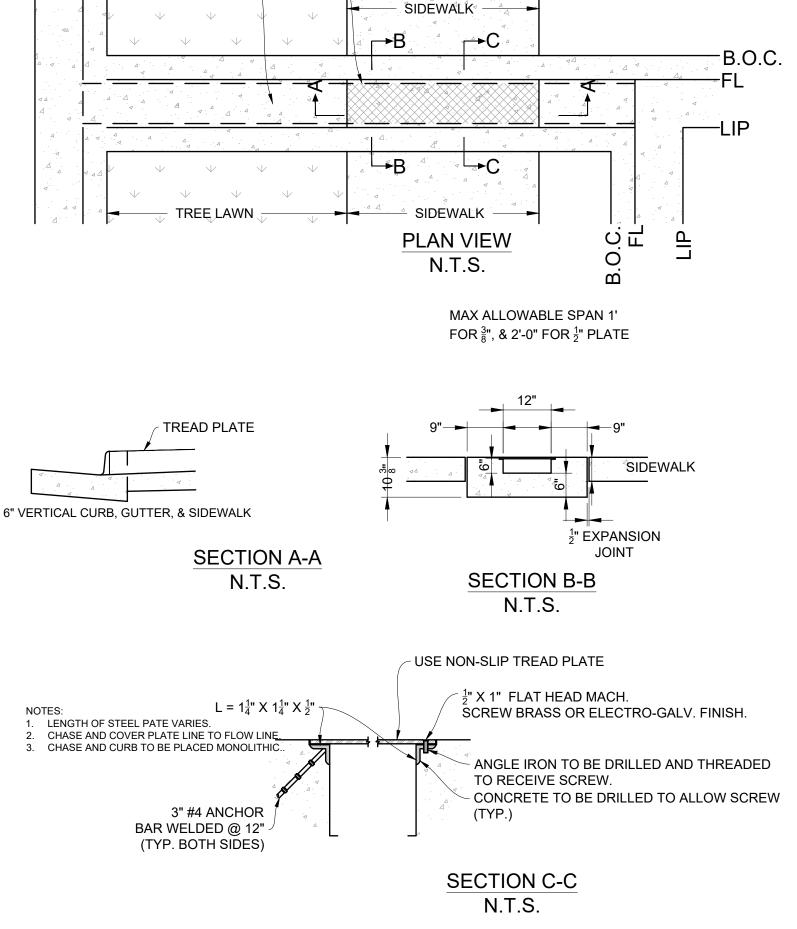
8. PROVIDE  $\frac{1}{2}$ " RADIUS ON ALL EDGES.



RAMP SEC A-A



PRIVATE ADA RAMP



GRATE TREAD PLATE,

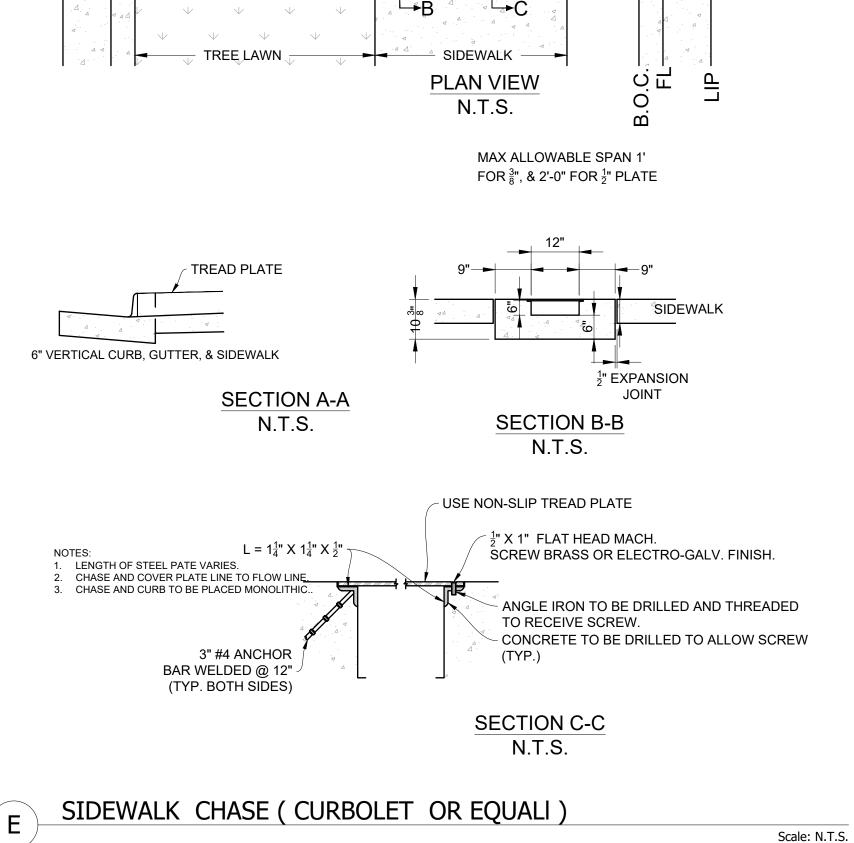
**RETAINING** 

SCREW

1'-0"

OUTFALL &

**U-CHANNEL** 



A DIVISION OF HABERER CARPENTRY INC. 621 SOUTHPARK DR., SUITE 1600 LITTLETON CO, 80120 PHONE: (303) 979-3900

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Notes

Stamp

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Low Permeable Soil -Cap Unit 12" (Min.) of Free ☐ Draining Aggregate **Total Wall** 4" Ø (Min) Drain Tile (Elevation Varies) 4" Ø (Min) Drain Tile -(Elevation Varies) (See Note) – 6" (Min) Compacted Granular Base Leveling Pad

- 6'-8" LONG PRECAST CONCRETE WHEELSTOP W/ (2) #4 BARS CONTINUOUS 5'-9" LONG

Scale: N.T.S.

(2) #4 BARS THRU WHEEL- STOP & PAVEMENT MINIMUM 18".

USE EPOXY BONDING AGENT.

SEE SOILS REPORT

CONCRETE WHEEL STOP

EDGE OF FLUSH

CURB

**CONCRETE WHEEL STOP** 

EMBED BELOW PARKING SURFACE.

PARKING SURFACE AS SPECIFIED.

#### **Gravity Wall Typical Section**

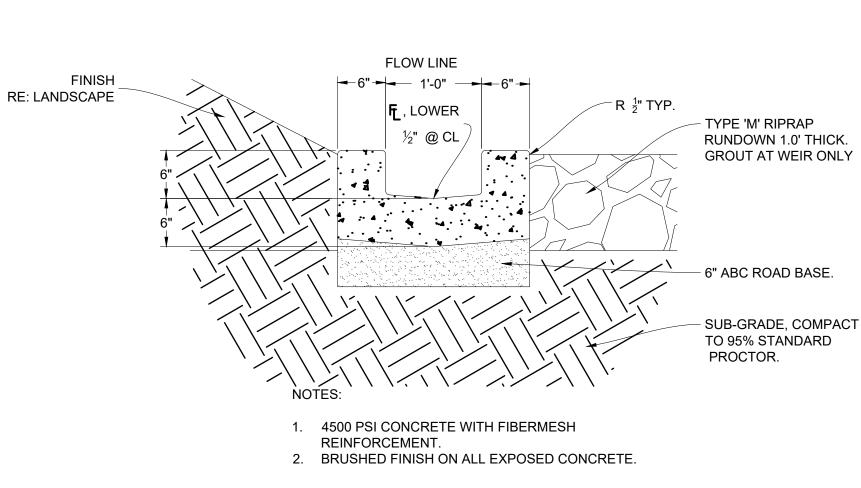
1. MATCH COLOR TO ANY TONE WITHIN THE FAMILY OF THE BUILDING'S STONE VENEER:

1.1. BORAL CULTURED STONE 1.2. CHARDONNAY

1.3. COUNTRY LEDGESTONE

**KEYSTONE - BROADSTONE 8" MEDLEY (OR EQUAL)** 

Scale: N.T.S.



Scale: N.T.S.

Issues: SUBMITTAL #1 12.04.20 SUBMITTAL #2 01,27,21 SUBMITTAL #3 05.14.21 07.02.21 SUBMITTAL #4 SUBMITTAL #5 08.09.21 Scale

> 1"=10'-0" Date Drawn

OCTOBER 30, 2020

Drawn By

Description

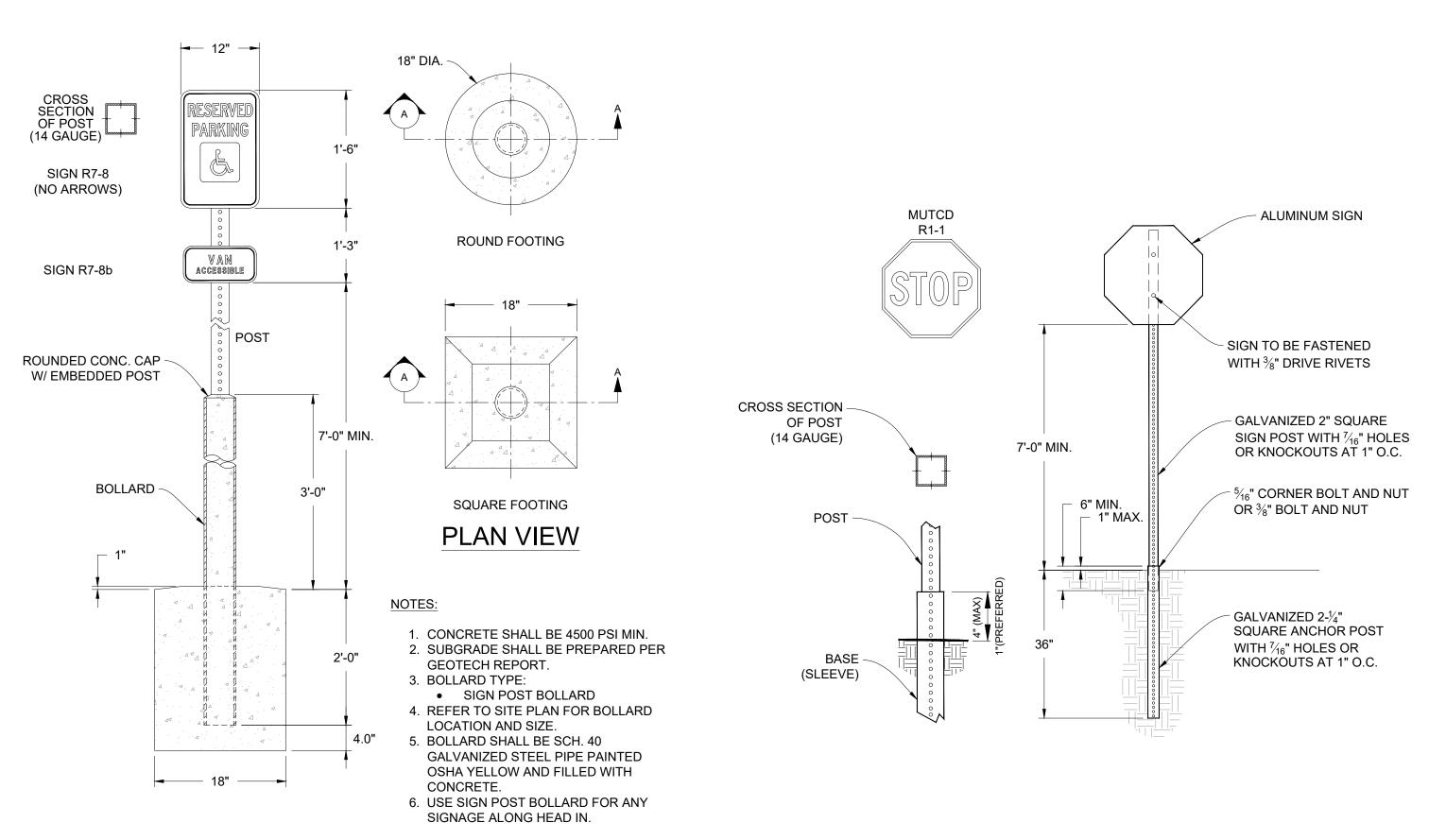
TGG

PRIVATE DETAILS (1)

Sheet Number

ADA CURB RAMP

Scale: N.T.S.

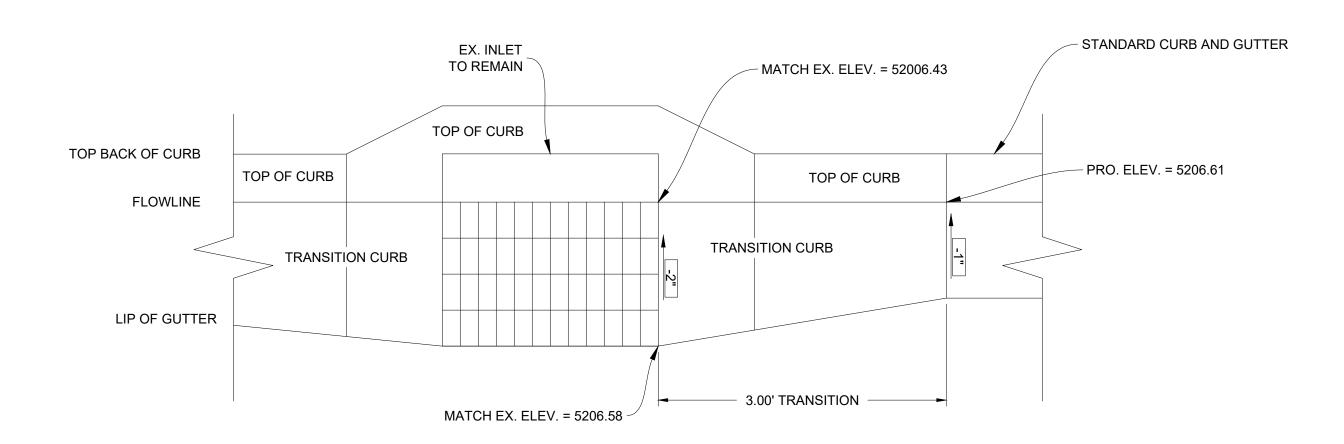


#### **SECTION A**

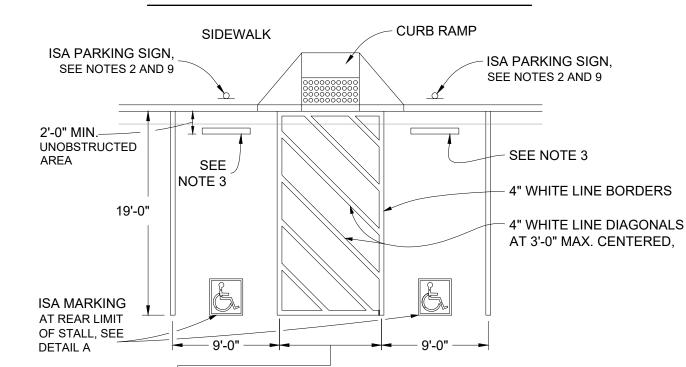


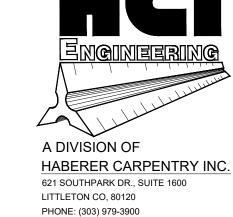
TYPICAL STOP SIGN DETAIL

Scale: N.T.S.



TRANSITION CURB Scale: N.T.S.





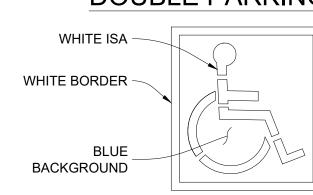
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Stamp

9'-0" NOTE: 5'-0" Min BETWEEN REGULAR ACCESSIBLE PARKING STALLS 8'-0" Min TO THE RIGHT OF EACH VAN ACCESSIBLE PARKING STALL, SEE NOTES 2 AND 9

#### DOUBLE PARKING STALL





PARKING

See Notes 2 and 6

ISA MARKING TABLE A

TOTAL NUMBER OF PARKING SPACES PROVIDED IN PARKING FACILITY	MINIMUM NUMBER OF REQUIRED ACCESSIBLE PARKING SPACES	MINIMUM FINE \$250
1-25	1	
26-50	2	
51-75	3	
76-100	4	
101-150	5	
151-200	6	
201-300	7	
301-400	8	
401-500	9	
501-1000	2% OF TOTAL	
1001 AND OVER	20 PLUS 1 FOR EACH 100 OR FRACTION THEREOF OVER 1000	

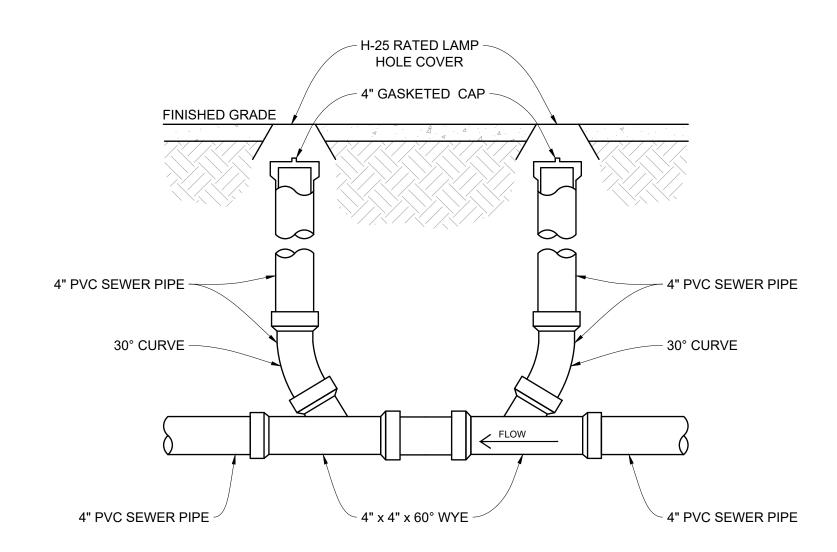
#### NOTES:

- ACCESSIBLE PARKING SPACES SERVING A PARTICULAR BUILDING SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE OF TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBLE ENTRANCE. IN PARKING FACILITIES THAT DO NOT SERVE A PARTICULAR BUILDING, ACCESSIBLE PARKING SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE OF TRAVEL TO AN ACCESSIBLE PEDESTRIAN ENTRANCE OF THE PARKING FACILITY.
- ONE IN EVERY SIX ACCESSIBLE OFF-STREET PARKING STALLS, BUT NOT LESS THAN ONE, SHALL BE SERVED BY AN ACCESSIBLE AISLE OF 8'-0" MINIMUM WIDTH AND SHALL BE SIGNED VAN ACCESSIBLE. THE R7-8B SIGN SHALL BE MOUNTED BELOW THE R7-8P PLAQUE OR THE R7-8 SIGN.
- IN EACH PARKING STALL, A CURB OR PARKING BUMPER SHALL BE PROVIDED IF REQUIRED TO PREVENT ENCROACHMENT OF VEHICLES OVER THE REQUIRED WIDTH OF WALKWAYS. PARKING STALLS SHALL BE SO LOCATED THAT PERSONS WITH DISABILITIES ARE NOT COMPELLED TO WHEEL OR WALK BEHIND PARKED VEHICLES OTHER THAN THEIR OWN.
- PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH
- SURFACE SLOPES NOT EXCEEDING 2.0% IN ALL DIRECTIONS. TABLE A SHALL BE USED TO DETERMINE THE REQUIRED NUMBER OF ACCESSIBLE PARKING STALLS IN EACH PARKING LOT OR GARAGE.
- 6. WHERE PLAQUE R7-8P, SIGN R7-8 OR SIGN R7-8b ARE INSTALLED, THE BOTTOM OF THE SIGN OR PLAQUE PANEL SHALL BE A MINIMUM OF 7'-0" ABOVE THE SURROUNDING SURFACE.
- WHERE A SINGLE (NON-VAN) ACCESSIBLE PARKING SPACE IS PROVIDED, THE LOADING AND UNLOADING ACCESS AISLE SHALL BE ON THE PASSENGER SIDE OF THE VEHICLE AS THE VEHICLE IS GOING FORWARD INTO THE PARKING SPACE.
- 8. WHERE A VAN ACCESSIBLE PARKING SPACE IS PROVIDED, THE LOADING AND UNLOADING ACCESS AISLE SHALL BE 8'-0" WIDE MINIMUM, AND SHALL BE ON THE PASSENGER SIDE OF THE VEHICLE
- AS THE VEHICLE IS GOING FORWARD INTO THE PARKING SPACE. 9. ACCESSIBLE PARKING ONLY SIGN SHALL BE SIGN R7-8 WITH PLAQUE R7-8P.

ISA = International Symbol of Accessibility

A.D.A. RAMP AND PARKING DETAILS

Scale: N.T.S.



#### NOTES:

- 1. CLEANOUT SHALL BE CONSTRUCTED SO THAT SURFACE LOAD WILL NOT BE TRANSFERRED TO MAIN. 2. SERVICE LINE CLEANOUT MAY BE INSTALLED APPROXIMATELY 5 FEET OUTSIDE THE BUILDING
- 3. A CLEANOUT IS REQUIRED ON ALL SERVICE LINES EVERY 100 FEET, AT EVERY 'Y' OR AFTER A
- COMBINED TOTAL OF 145° OF BEND. 4. USE PRE-FABRICATED WYE FITTINGS TO CONSTRUCT CLEANOUT ASSEMBLIES

TWO-WAY SEWER C.O.

Scale: N.T.S.

DO NOT SCALE THE DRAWINGS,

Notes

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 $\vdash$ 

Issues: 12.04.20 SUBMITTAL #1 SUBMITTAL #2 01.27.21 SUBMITTAL #3 05.14.21 07.02.21 SUBMITTAL #4 SUBMITTAL #5 08.09.21 Scale

Date Drawn

1"=10'-0"

OCTOBER 30, 2020

Drawn By TGG

Description

PRIVATE DETAILS (2)

Sheet Number

LOT 5C, SOLA SUBDIVISION FILING NO. 1, REPLAT C,

COUNTY OF BOULDER, STATE OF COLORADO

RACKS

MENU BOARD EX. GAS TO

2-4" COBBLES

ZIGGI'S COFFEE 1,800 SF SINGLE STORY BUILDING

ON WEED FABRIC

BE RELOCATED <sup>©</sup>

CH

DRIVE-THRU

3DL

DISTANCE LINE

PUBLIC & EMERGENCY

VEHICLE ACCESS &

UTILITY EASEMENT

EXCEPTION #34

EX. GAS TO I.D. SIGN BE RELOCATED

BALMSTONE DRIVE

2SW EXISTING 18" RCP STORM STUB TO -BE RELOCATED 11NW-

TRASH ENCLOSURE

OWNER: SOLA INC.

DRIVE-THRU LANE

PLANT LIST SYM OTY BOTANICAL NAME

SYM	QTY.	BOTANICAL NAME	COMMON NAME	ZONE	SIZE	NOTES/REMARKS
DECI	DUOUS	STREES				
НО	4	Quercus 'Heritage'	Heritage Oak	Moderate	2.0" cal.	B&B Straight trunk
НВ	3	Celtis occidentalis 'Chicagoland'	Hackberry	Low-Mod	2.0" cal.	B&B Straight trunk
HL	1	G. triacanthos inermis 'Shademaster'	Shademaster Honeylocust	Low-Mod	2.0" cal.	B&B Straight trunk
ORN	AMENT	AL TREES				
СН	2	Pyrus calleryana 'Cleveland Select'	Cleveland Select Pear	Moderate	2.0" cal.	B&B Straight trunk
EVEF	RGREE	N TREES				
BP	4	Pinus aristata	Bristlecone Pine	Moderate	6' Ht.	B&B Full & bushy
FP	2	Pinus leucodermis 'Iseli Fastigiate'	Iseli Fastigiate Bosnian Pine	Moderate	6' Ht.	B&B Full & bushy
DEC	DUOU	S SHRUBS				
AV	3	Viburnum rhytidophylloides 'Alleghany'	Alleghany Viburnum	Low-Mod	36-42" ht.	#5 Container
СР	10	Ligustrum vulgare 'Cheyenne'	Cheyenne Privet	Low-Mod	36-42" ht.	#5 Container
DL	24	Syringa patula 'Miss Kim'	Miss Kim Dwarf Lilac	Low-Mod	24-30" ht.	#5 Container
GF	31	Spiraea japonica 'Goldflame'	Goldflame Spirea	Low-Mod	15-18" ht.	#5 Container
LP	10	Ligustrum vulgare 'Lodense'	Lodense Privet	Low-Mod	18-21" ht.	#5 Container
МО	5	Philadelphus lewisii 'Cheyenne'	Cheyenne Mockorange	Low-Mod	30-36" ht.	#5 Container
SW	8	Physocarpus opufolius 'Summer Wine'	Summer Wine Ninebark	Low-Mod	30-36" ht.	#5 Container
ТВ	26	Rhamnus frangula 'Columnaris'	Tallhedge Buckthorn	Low-Mod	36-42" ht.	#5 Container
EVE	RGREE	N SHRUBS				
вн	2	Juniperus horizontalis 'Bar Harbor'	Bar Harbor Juniper	Low-Mod	9-12" ht.	#5 Container
MJ	15	Juniperus scopulorum 'Medora'	Medora Juniper	Low-Mod	36-42" ht.	#5 Container
SJ	15	Juniperus chinensis 'Spartan'	Spartan Juniper	Low-Mod	36-42" ht.	#5 Container
SR	7	Juniperus scopulorum 'Skyrocket'	Skyrocket Juniper	Low-Mod	36-42" ht.	#5 Container
ss	13	Juniperus sabina 'Sierra Spreader'	Sierra Spreader Juniper	Low-Mod	9-12" ht.	#5 Container
ORN	AMENT	AL GRASSES / PERENNIALS				
вв	6	Andropogon gerardii 'Windwalker'	Windwalker Big Bluestem	Low-Mod	21-24" ht.	#5 Container
HG	16	Pennisetum alopecuroides 'Hameln'	Dwarf Fountain Grass	Low-Mod	12-15" ht.	#1 Container
NW	22	Panicum virgatum 'Northwind'	Northwind Switch Grass	Low-Mod	12-15" ht.	#1 Container
SD	5	Leucanthemum x superbum 'Silver Princess'	Dwarf Shasta Daisy	Low-Mod	12-15" ht.	#1 Container
SG	22	Panicum virgatum 'Shenandoah'	Shenandoah Red Switch Grass	Low-Mod	12-15" ht.	#1 Container
YC	10	Echinacea paradoxa	Yellow Coneflower	Low-Mod	12-15" ht.	#1 Container

1. PLANTS SHALL BE HEALTHY & WELL-ESTABLISHED B&B OR CONTAINER STOCK AND CONFORM TO STANDARDS IN THE "AMERICAN STANDARDS FOR NURSERY STOCK, LATEST EDITION. NUMBER OF CANES SHALL BE PER ANSI Z60.1-2014 AND MINIMUM SIZE SHALL

2. IN THE EVENT OF A DISCREPANCY BETWEEN THE QUANTITY OF PLANTS SHOW SYMBOLICALLY ON THE PLAN AND THE PLANT, THE PLAN SYMBOLS SHALL TAKE PRECEDENCE. THE CONTRACTOR SHALL NOTIFY THE OWNER OF DISCREPANCIES PRIOR TO

SEED MIX (LOW GROW) SHALL BE: 25% EPHRAIM CRESTED WHEATGRASS

23% SHEEP FESCUE 18% PERENNIAL RYEGRASS 13% CANADA BLUEGRASS 12% BARLEY OR OATS 9% BLUE FESCUE

25 LBS. / ACRE- DRILLED 50 LBS. / ACRE- BROADCAST

#### PROPOSED WATER-USE CALCULATIONS

ZONE	AREA	GALS.
High Water Zones: (Irrigated turf)	930 S.F. x (20 GALS. PER S.F/ SEASON) =	18,600 GALS. PER S.F/ SEASON
Moderate Water Zones: (Proposed beds)	4,591 S.F. x (10 GALS. PER S.F/ SEASON) =	45,910 GALS. PER S.F/ SEASON
Low Water Zones: (Irrigated native seeding)	1,976 S.F. x (3 GALS. PER S.F/ SEASON) =	5,928 GALS. PER S.F/ SEASON
Very Low Water Zones:	0 S.F. x (0 GALS. PER S.F/ SEASON) =	0 GALS. PER S.F/ SEASON
TOTAL gallons needed by A	ALL ZONES	70,438 GALS. PER S.F/ SEASON
TOTAL Square Feet (S.F.)	of ALL ZONES	7,497 S.F. (INCLUDES R.O.W.)
AVERAGE GALS./S.F./SEASON, ALL ZONES: (Total Gals. / Total S.F.) 9.39 GALS. PER S.F./ SEA		

#### WATER USE LEGEND

$\Theta$	'HIGH' HYDROZONE
M	'MODERATE' HYDROZONE
(L)	'LOW' HYDROZONE
<b>(1)</b>	'VERY LOW' HYDROZONE
	ALL SOD IS "HIGH" WATER ZONE; ALL BED DERATE" WATER ZONE.

#### PLANTS REQUIRED

I LANTO NEGOTILE	
TOTAL LANDSCAPE AREA:	7,497 S.F.
Trees Required (1 per 1000 S.F.):	8
TREES PROVIDED:	8
Trees Required (1 per 40 L.F. frontage):	6
TREES PROVIDED:	7
Shrubs Required (1 per 150 S.F.):	50
SHRUBS PROVIDED:	126

# JDC

OWNER: SOLA INC.

SCALE 1" = 10'

LEGEND

 $\infty$ 

**DECIDUOUS TREE** 

ORNAMENTAL TREE

**EVERGREEN TREE** 

DECIDUOUS SHRUB

**EVERGREEN SHRUB** 

ORNAMENTAL GRASS

PROPOSED ROCK MULCH

PROPOSED WOOD MULCH

PROPOSED COBBLES

PERENNIALS

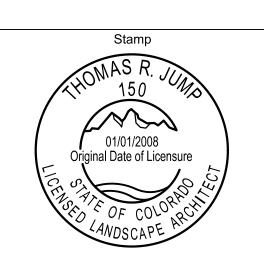
SEEDING

**EDGER** 

PLANNING & LANDSCAPE ARCHITECTURE **Jump Design Company** 1733 S. Clarkson Street Denver, Colorado 80210 303.282.0463 fax 282.0473



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ZIGGI'S

SUBMITTAL #1 12.04.20 SUBMITTAL #2 01.26.21 SUBMITTAL #3 05.14.21 SUBMITTAL #4 07.02.21

> Varies Date Drawn OCTOBER 23, 2020

Drawn By JDC Description

Landscape Plan Sheet Number

A DIVISION OF HABERER CARPENTRY INC. 621 SOUTHPARK DR., SUITE 1600

LITTLETON CO, 80120

INFO@HABERERGROUP.COM

2. BASE INFORMATION PROVIDED TO JDC BY HCI ENGINEERING.

3. REFER TO THE APPROPRIATE ARCHITECTURAL, ENGINEERING, ELECTRICAL AND IRRIGATION PLANS COMPLETED BY OTHERS. ANY DISCREPANCIES THAT AFFECT THIS WORK MUST BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.

4. CONTRACTOR SHALL APPROPRIATE UTILITY LOCATORS TO LOCATE OF ALL BURIED UTILITY LINES. FIELD-VERIFY EXISTING LOCATIONS, GRADES, AND CONDITIONS OF ALL BURIED UTILITIES PRIOR TO CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CONFLICTS OR DISCREPANCIES FROM THE INFORMATION SHOWN ON THESE PLANS. IF DISCREPANCIES EXIST DO NOT PROCEED WITH CONSTRUCTION ACTIVITIES WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE. DAMAGE TO UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED AT HIS OWN COST WITH NO EXPENSE TO THE OWNER.

#### SOIL PREPARATION / FINE GRADING NOTES

5. TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON LANDSCAPE. THE TOP 4" OF LANDSCAPE AREAS SHALL BE EXISTING OR IMPORTED TOPSOIL AS NECESSARY.

6. SOIL AMENDMENT SHALL BE LOW-SALTS, FULLY-MATURED ORGANIC COMPOST, CERTIFIED FREE OF PATHOGENS. pH SHALL BE 6.0 TO 7.4 WITH A MIN. OF 30% ORGANIC MATERIAL. COMPOST SHALL BE BIOCOMP-CLASS 1 BY A1 ORGANICS 16350 WCR 76, EATON, CO 80615, OR APPROVED EQUAL. AMENDMENT FOR LANDSCAPE AREAS SHALL BE 4 C.Y. PER 1,000 S.F.

7. THE TOP 5" OF SUBGRADE SHALL BE TOPSOIL AND SOIL AMENDMENT MIXTURE TILLED TO A MIN. DEPTH OF 6" BELOW SUBGRADE.

8. BEGIN FINE GRADING AFTER ROUGH GRADING OPERATIONS HAVE BEEN APPROVED. REMOVE ALL CLODS, LUMP & DELETERIOUS MATTER AND FINE GRADE ALL LANDSCAPE AREAS TO .1" +/-OF FINISHED SUBGRADE. ALL FINE GRADING MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO LANDSCAPE INSTALLATION.

9. IN ALL BED AREAS HOLD TOP OF SUBGRADE 3-4" BELOW ADJACENT IMPROVEMENTS TO ALLOW FOR SPECIFIED MULCH DEPTH, IN SOD OR SEED AREAS, HOLD TOP OF SUBGRADE 3-4" BELOW ADJACENT IMPROVEMENTS TO ALLOW FOR TURF DEPTH.

#### PLANTING NOTES

10. PLANTS SHALL MEET THE MINIMUM STANDARDS OUTLINED IN THE "AMERICAN STANDARD FOR NURSERY STOCK" ANSI Z60.1 (2014 OR LATEST EDITION). ALL PLANT MATERIALS ARE SUBJECT TO APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. PLANTS NOT MEETING THE SET STANDARDS WILL BE REJECTED.

11. PLANT SPECIES SHALL FOLLOW THE APPROVED PLAN. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THE CONTRACTOR MUST OBTAIN APPROVAL FROM THE OWNER'S REPRESENTATIVE. PLANT SUBSTITUTIONS SHALL MEET THE ORIGINAL INTENT OF THE SPECIFIED PLANT'S SIZE AND CHARACTERISTICS.

12. ALL PLANT MATERIAL SHALL CARRY A WARRANTY FOR A PERIOD OF NOT LESS THAN 1 YEAR AFTER FINAL ACCEPTANCE OF THE PROJECT BY THE OWNER. WARRANTY SHALL BE A ONE-TIME REPLACEMENT THAT INCLUDES PLANT MATERIAL, INSTALLATION AND LABOR COSTS.

13. PLANT QUANTITIES SHOWN SYMBOLICALLY ON THE PLAN SHALL TAKE PRECEDENT AND BE INSTALLED OVER THOSE TOTALS IN THE PLANT LIST. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.

14. LAYOUT PLANT BED EDGER LINE AND STAKE INDIVIDUAL PLANT LOCATIONS FOR APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

15. PLANT HOLE BACKFILL SHALL BE 1/3 TOPSOIL, 1/3 COMPOSTED AMENDMENT AND 1/3 NATIVE SOIL THOROUGHLY MIXED.

16. TREE LOCATION SHALL BE NO CLOSER THAN 3' FROM ALL CURBS & WALKWAYS.

#### **EDGER**

17. ALL PLANTING BEDS SHALL BE CONTAINED BY 3/16" X 4" INTERLOCKING STEEL EDGER PAINTED GREEN OR BLACK. EDGER TO HAVE A ROLLED STEEL TOP FOR SAFETY. SHOULD EDGER CROSS SWALES OR OTHER LOCATIONS OF CONCENTRATED FLOW, USE PERFORATED EDGER OR DRILL HOLES TO ALLOW WATER TO PASS- 3 HOLES PER LINEAR FOOT.

#### MULCH

18. ROCK MULCH IN PLANTING BEDS SHALL BE 3/4" COLORADO RED CRUSHED GRANITE ON LANDSCAPE WEED BARRIER FABRIC- TYPAR 3301 OR APPROVED EQUAL. DO NOT COVER ABOVE TREE OR SHRUB PLANTING PIT AREA WITH FABRIC.

19. WOOD MULCH AREAS AND PLANTS IN ROCK BEDS SHALL BE MULCHED WITH 3-4" DEPTH DOUBLE SHREDDED CEDAR MULCH-WOOD MULCH RING SIZE SHALL BE 2 TIMES THE DIAMETER OR THE INSTALLED PLANT ROOT MASS.

20. COBBLES SHALL BE 2-4" DIA. WASHED RIVER COBBLES, "GRAY ROSE" FROM PIONEER LANDSCAPE SUPPLY OR APPROVED EQUAL.

21. ALL MULCHES SHALL BE APPROVED BY OWNER PRIOR TO INSTALLATION.

22. ALL TREES IN SEEDED OR SODDED AREAS WILL HAVE A MULCH RING WITH NATURAL CEDAR FIBER MULCH AT 3-4" DEPTH AND AT LEAST 3-4' IN DIAMETER.

#### SEEDING

23. ALL AREAS TO BE SEEDED SHALL BE SCARIFIED TO A DEPTH OF 4" (MIN.) INCORPORATING 15 LBS. OF 0-45-0 FERTILIZER/1000 S.F.AND FINE GRADED TO +/- .1'. RAKED TO A SMOOTH, UNIFORM, FIRM (85% STANDARD MAX.) SURFACE WITHOUT DEPRESSIONS WHERE WATER MAY COLLECT. AREAS SHALL BE SEEDED WITH A UNIFORM MIXTURE OF THE STATED #1 NATIVE NON-IRRIGATED MIX. AREAS SHALL BE PROTECTED FROM COMPACTION PRIOR TO SEEDING.

24. SEED EVENLY AT THE RATE STATED. HAY BALES SHALL BE INSTALLED AS TEMPORARY CHECK DAMS WHERE DRAINAGE SWALES AND EROSION CHANNELS MAY FORM. HAY BALES SHALL BE DUG INTO THE SURFACE AND STAKED TO INSURE NO SOIL IS WASHED OUT FROM BENEATH THE BALES.

25. ANY SLOPES 3:1 to 2.5:1 SHALL BE COVERED WITH NORTH AMERICAN GREEN S150 EROSION CONTROL MAT OR APPROVED EQUAL. NORTH AMERICAN GREEN, 5401 ST WENDEL CYNTHIANA RD, POSEYVILLE, IN 47633 (812) 963-3373.

26. FOLLOWING SEEDING OPERATIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTAINING GROWTH OF THE SEEDED AREAS- WEEDING & FERTILIZATION UNTIL AN ACCEPTABLE STAND OF GRASS IS ESTABLISHED.

27. AT THE END OF THE 1-YEAR WARRANTY PERIOD BARE SEEDED OR WEED-FILLED AREAS LARGER THAN 1'X1' SHALL BE RESEEDED.

28. LANDSCAPE SHALL BE MAINTAINED TO ENURE WATER EFFICIENCY. A REGULAR MAINTENANCE SCHEDULE SHALL INCLUDE BUT NOT BE LIMITED TO CHECKING, ADJUSTING, & REPAIRING IRRIGATION EQUIPMENT, RESETTING THE AUTOMATIC CONTROLLER, AERATING & DE-THATCHING TURF AREAS (ONLY IF NEEDED), REPLENTISHING MULCH, FERTILIZING, PRUNING, & WEEDING IN ALL LANDSCAPED AREAS.

# ZIGGI'S COFFEE-LAFAYETTE

LOT 5C, SOLA SUBDIVISION FILING NO. 1, REPLAT C,

COUNTY OF BOULDER, STATE OF COLORADO

FINISH

GRADE!!



Do not cut single leader. Prune only damaged, dead wood or co-dominant leaders at City Forester's direction.

12" NYLON TREE STRAP WITH GROMMETS ON GUY WIRE. DO NOT TWIST STRAPS TO TIGHTEN AROUND TREE TRUNK.

1/2" DIAMETER WHITE PVC PIPE SECTION ON ENTIRE LENGTH OF EACH WIRE.

14-GUAGE GALVANIZED WIRE, DOUBLE STRAND. LEAVE 1-2" SLACK IN WIRE TO ALLOW FOR TRUNK MOVEMENT.

IF NEEDED, 6' STEEL POST OR WOOD STAKE (4' EXPOSED, 2' IN UNDISTURBED SUBGRADE) WITH SAFETY CAPS, SET TO WINDWARD SIDE OR OTHER OPPOSITE; OR PRE-APPROVED STAKING METHOD.

DECIDUOUS TREE FALL PLANTING: WRAP TRUNK TO FIRST BRANCH WITH SPECIFIED TREE · WRAP MATERIAL. SECURE AT TOP WITH MASKING TAPE. DO NOT WRAP ROUGH BARK, POPULOUS, OR GLEDITSIA TREES. REMOVE IN SPRING AS SPECIFIED.

SET ROOT COLLAR 2-3" HIGHER THAN FINSHED GRADE. REMOVE EXCESS SOIL FROM TOP OF

ROOTBALL. CIRCLE OF SHREDDED BARK MULCH, 3" DEEP AND 4-6"AWAY FROM TRUNK TO OUTER

- FORM 2" HIGH DIRT SAUCER AROUND PIT AT OUTSIDE OF TRANSITION ZONE.

COMPLETELY REMOVE ALL TWINE AND WIRE BASKET. PULL BURLAP DOWN A MINIMUM OF 2/3, CUT AND REMOVE FROM PIT.

SLOPE SIDES OF PLANTING PIT AS SHOWN. ROUGHEN SIDES PRIOR TO BACKFILL. SPECIFIED BACKFILL MIXTURE (INCLUDE NATIVE SOIL WHERE POSSIBLE)

UNDISTURBED SUBGRADE

EDGE OF PLANTING HOLE.

Any broken, crumbling or otherwise damaged rootball will be rejected. Damage during planting operations will not be excused.

#### Trees planted in the right of way (ROW) are subject to the following restrictions:

Х

2X Root Ball Diameter

 $\frac{1}{2}X$ 

- IF OVERHEAD UTILITY WIRES EXIST IN THE ROW, ONLY ORNAMENTAL OR TREES MATURING AT 20 (TWENTY) FEET MAXIMUM HEIGHT SHALL BE PLANTED.
- TREES SHALL BE CENTERED IN TREE LAWNS AND/OR PLANTING AREAS.
- PLANTING WITHIN 20 (TWENTY) FEET OF STOPS SIGNS OR STREET LIGHTS IS NOT PERMITTED.
- PLANTING WITHIN 5 (FIVE) FEET OF WATER LINES IS NOT PERMITTED- CHECK LOCAL JURISDICTION AND UTILITY PROVIDERS FOR TREE SPACING DISTANCE FROM ALL UTILITIES.
- TREES SHALL BE PRUNED TO MAINTAIN A CLEARANCE OF 13'-6" OVER STREETS AND ALLEYS AND EIGHT FEET OVER REMAINING PORTIONS OF ROW INCLUDING SIDEWALKS OR AS DESIGNATED BY LOCAL JURISIDICTION.

#### Prior to digging, the Utility Center of Colorado shall be contacted at 811 to locate underground utilities.

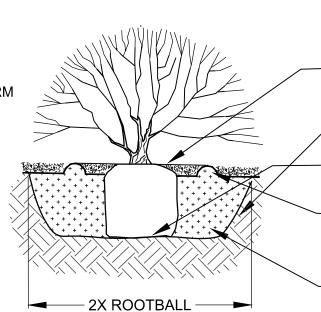
#### TYP. DECIDUOUS / EVERGREEN TREE PLANTING

NOT TO SCALE

PRUNING NOTES: DO NOT HEAVILY PRUNE SHRUBS AT PLANTING. PRUNE ONLY DEAD OR BROKEN BRANCHES. IF FORM IS COMPROMISED BY PLANTING, REPLACE SHRUB.

REMOVE CONTAINER (INCLUDING FIBER CONTAINERS), BASKETS, WIRE, ETC. FROM THE ROOTBALL. BREAK-UP ENCIRCLING ROOTS WITH SHARP KNIFE OR SPADE.

PLACEMENT NOTES: SET SHRUB PLUMB. SPACE PLANTS AND PLACE FOR BEST AFFECT.



SET TOP OF ROOT BALL 1-2" HIGHER THAN ADJACENT GRADE. SET ON UNDISTURBED SOIL.

1:1 SLOPE ON SIDES OF PLANTING HOLE.

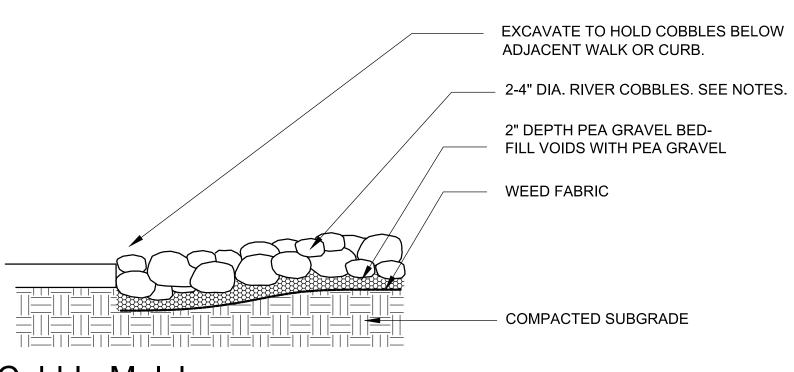
SPLIT BOTTOM OF ROOT BALL

4" HIGH WATER SAUCER/ MULCH RING 3FT. IN DIAMETER. PLACE ON GEOTEXTILE WEED BARRIER.

BACKFILL WITH BLEND OF EXISTING SOIL & MAX. OF 20% (BY VOLUME) ORGANIC MATERIAL. WATER THOROUGHLY WHEN BACKFILLING.

#### TYPICAL SHRUB PLANTING

FINISH GRADE 1" BELOW TOP OF



## Cobble Mulch

SEEDING AND MULCHING INSTALLATION NOTES

AREA OF SEEDING AND MULCHING.

SEED TCKETS SHALL BE PROVIDED TO THE OWNER UPON REQUEST.

SEED) X (PURITY) X (GERMINATION) = POUNOS or PURE LIVE SEED (PLS).

A DEPTH OF 6 INCHES PRIOR TO SPREADING TOPSOIL.

APPROVAL BY THE OWNER'S REPRESENTATIVE.

STRAW PER ACRE.

COVER THE SURFACE.

4. SEEDING MIXES SHALL CONFORM TO THE TABLE ON THE PLAN:

2. ALL BRANDS FURNISHED SHALL BE FREE OF NOXIOUS SEEPS AS RUSSIAN OR CANADIAN THISTLE.

3. THE SEEDER SHALL FURNISH TO THE CONTRACTOR A SIGNED STATEIAENT CERTIFYING THAT THE SEED

FURNISHED IS FROM A LOT THAT HAS BEEN TESTED BY A RECOGNIZED LABORATORY. SEED WHICH HAS

BECOME WET, MOLDY, OR OTHERWISE DAMAGED IN TRANSIT OR IN STORAGE WILL NOT BE ACCEPTABLE.

5. IF THE SEED AVAILABLE ON THE MARKET DOES NOT MEET THE MINIMUM PURITY AND GERMINATION

PERCENTAGES SPECIFIED, THE SUBCONTRACTOR MUST COMPENSATE FOR A LESSER PERCENTAGE OF

PURITY OR GERMINATION BY FURNISHING SUFFICENT ADDITIONAL SEED TO EQUAL THE SPECIFIED PRODUCT. THE TAGS FROM THE SEED MIXES MUST BE SUPPLIED TO CONTRACTOR AND FORWARDED TO

6. THE FORMULA USED FOR DETERMINING THE QUANTITY or PURE L.M SEED (PLS) SHALL BE (POUNDS or

7. PERMANENT SEED MIX SHALL BE USED UNLESS OTHERWISE APPROVED BY THE OWNER'S

REPRESENTATIVE.THE USE OF TEMPPORARY NURSERY CROP IN PERMANENT AND LOW GROW MXES IS

8. ALL AREAS TO BE SEEDED AND MULCHED SHALL HAVE NATIVE TOPSOIL SPREA!D TO A DEPTH OF AT

LEAST 8 INCHES (LOOSE DEPTH). HAUL ROADS AND OTHER COMPACTED AREAS SHALL BE LOOSENED TO

SPECIFIICATIONS. MINIMUM SOIL AMENDMENTS SHALL BE 3 CUBIC YARDS OF ORGA!NIC-MATTER PER 1000

SQUARE FEET OF SEEDED AREAS, AND SHALL BE TILLED TO A MINIMUM DEPTH OF 8 INCHES. SOIL

AMENDMENTS SHALL BE TESTED TWO WEEKS IN ADVANCE OF ITS USE AND RESULTS SUBMITTED FOR

10. SOIL IS TO BE THOROUGHLY LOOSENED (TILLED) TO A DEPTH OF AT LEAST 6 INCHES PRIOR TO

SEEDING. THE TOP 6 INCHES OF THE SEED BED SHALL BE FREE OF ROCKS GREATER THAN 6 INCHES AND

SOIL CLODS GREATER THAN 2 INCHES. SEEDING OVER ANY COMPACTED AREAS THAT HAVEN'T BEEN

11. SEED IS TO BE APPLIED USING A MECHANICAL DRILL TO A DEPTH NOT LESS THAN 1/4 INCH AND NOT

MORE THAN 3/4 INCH. ROW SPACING SHALL BE NO MORE THAN 8 INCHES. MATERIAL USED FOR MULCH

SHALL CONSIST OF WEED-FREE LONG- STEMMED STRAW. AT LEAST 50 PERCENT or THE MULCH, BY

WEIGHT, SHALL BE 10 INCHES OR MORE IN LENGTH. MULCH SHALL BE APPLIED AND MECHANICALLY

ANCHORED TO A DEPTH OF AT LEAST 4 INCHES. MULCH SHALL BE APPLIED AT A RATE or 4000 LB. OF

12. IF THE CONTRACTOR DEMONSTRATES TO THE OWNER'S REPRESENTATIVE THAT IT IS NOT POSSIBLE

TO DRILL SEED, SEED IS TO BE UNIFORMLY BROADCAST AT TWO TIMES THE DRILLED RATE, THEN LIGHTLY

13. ALL SEEDED AREAS SHALL BE MULCHED, CRIMPED AND TACKIFIED WITHIN 24-HOURS AFTER SEEDING.

14. TACKIFIER SHOULD BE UTILIZED TO HELP WITH STRAW DISPLACEMENT. THE TACKIFIER MATERIAL

SHALL CONSIST OF A FREE-FLOWING, NON-CORROSIVE POWDER PRODUCED FROM THE NATURAL PLAT

GUM OF PLANTAGO INSULARIS. (DESERT INDIANWHEAT), APPLIED IN A SLURRY WITH WATER AND WOOD FIBER. THE POWDER SHALL POSSESS THE FOLLOWING PROPERTIES: PROTEIN CONTENT = 1.6 +/-0.2%;

ASH CONTENT = 2.7 +/-0.2"; FIBER = 4.0 +/- 0.4%; PH 1% SOLUTION = 6.5 - 8.0. THE MATERIAL SHALL NOT

CONTAIN ANY MINERAL FILLER, RECYCLED CELLULOSE FIBER, CLAYS, OR OTHER SUBSTANCES, WHICH MAY INHIBIT GERMINATION OR GROWTH or PLANTS. THE WOOD FIBER AND WATER USED SHALL CONFORN

TO THE COLORADO HIGHWAY SPECIFICATIONS, SUBSECTION 213.02 - PAR. 8, AND SUBSECTION 209.02.

RESPECTIVELY, APPLY TACKIFIER WITH A SPRAY NOZZLE, DISPENSING A MIST THAT WILL UNIFORMLY

15. ALL SEEDED AREAS SHALL BE KEPT IN A DAMP CONDITION, FOR AT LEAST 14 DAYS AFTER SEEDING,

TO AID IN GERMINATION. SOME FORM OF IRRIGATION MAY BE REQUIRED TO ACHIEVE THIS GOAL. AND IT IS

THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ANY AND ALL NECESSARY OPERATIONS TO

THAT END. THE MEANS OF IRRIGATION SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE AND

PROPER PERMITS OBTAINED PRIOR TO IMPLEMENTATION. DIRECT FLOWS FROM LARGE HOSES, WHICH

16. SEEDED AND MULCHED AREAS SHALL BE INSPECTED FOR REQUIRED COVERAGE MONTHLY FOR A

PERIOD OF TWO YEARS FOLLOWING INITIAL SEEDING. REPAIRS AND RE-SEEDING AND MULCHING SHALL BE UNDERTAKEN AFTER THE FIRST AND SECOND GROWING SEASON OR AS REQUESTED BY THE OWNER

17. RILL AND GULLY EROSION SHALL BE FILLED WITH TOPSOL PRIOR TO RESEEDING. THE RESEEDING

18. NOXIOUS WEEDS SHALL BE CONTROLLED IN A MANNER ACCEPTABUE TO THE OWNER'S

SQUARE FOOT SHALL BE OF THE VARIETY AND SPECIES FOUND IN THE APPROVED MIX.

B. NO BARE AREAS LARGER THAN 4 SQUARE FEET (TWO-FEET BY TWO-FEET OR EQUIVALENT).

A. THREE (3) PLANTS PER SQUARE FOOT WITH A MINIMUM HEIGHT OF 3 INCHES. THE 3 PLANTS PER

9. FOR PERMANANTLY IRRIGATED AREAS OR FOR AREAS WITH INADEQUATE TOPSOIL SHALL BE

AMENDED PRIOR TO SEEDING. SOIL AMENDMENTS SHALL BE IN COMPLIANCE WITH THE

THOROUGHLY LOOSENED SHALL BE REJECTED. SEED BED SHALL BE FREE OF WEEDS.

HARROWED TO PROVIDE A SEED DEPTH OF APPROXIMATELY 1/4 INCH, THEN

ROLLED TO COMPACT. THEN MULCHED AS SPECIFIED ABOVE.

COULD DAMAGE THE MULCH, WILL NOT BE PERMITTED.

C. FREE OF ERODED AREAS.

FOR ANY AREAS FAILING TO MEET THE REQUIRED COVERAGE.

D. FREE FROM INFESTATION OF NOXIOUS WEEDS.

METHOD SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE.

19. REQUIRIED COVERAGE FOR SEED MIXES SHALL BE DEFINED AS FOLLOWS:

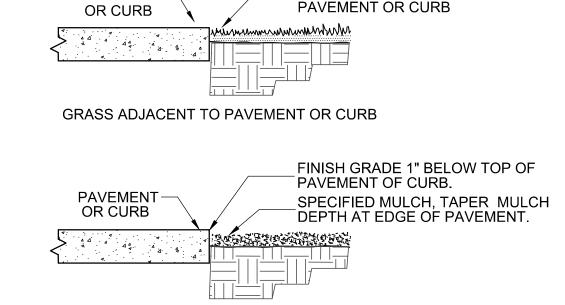
COARSE FESCUE, EUROPEAN BINDWEED, JOHNSON GRASS, KNAP WEED AND LEAFY SPURGE.

1. SEE PLAN FOR:

TYPE OF SEED MIX

THE OWNER'S REPRESENTATIVE.

NOT TO SCALE



#### Typical Construction Edges

MULCH ADJACENT TO PAVEMENT & CURB

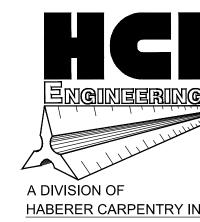
PAVEMENT



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> Ш 0 **ZIGGI'S**

Issues: SUBMITTAL #1 12.04.20 SUBMITTAL #2 01.26.21 SUBMITTAL #3 05.14.21 SUBMITTAL #4 07.02.21

Scale Varies Date Drawn OCTOBER 23, 2020

Drawn By JDC

Description

Landscape Details **Sheet Number** 

LOT 5C, SOLA SUBDIVISION FILING NO. 1, REPLAT C, COUNTY OF BOULDER, STATE OF COLORADO



Original Date of Licensure

MAH

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Architectural

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SUBMITTAL #1 SUBMITTAL #2 SUBMITTAL #3 SUBMITTAL #4

10.26.20

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05.14.21

07.02.21

As Shown Date Drawn

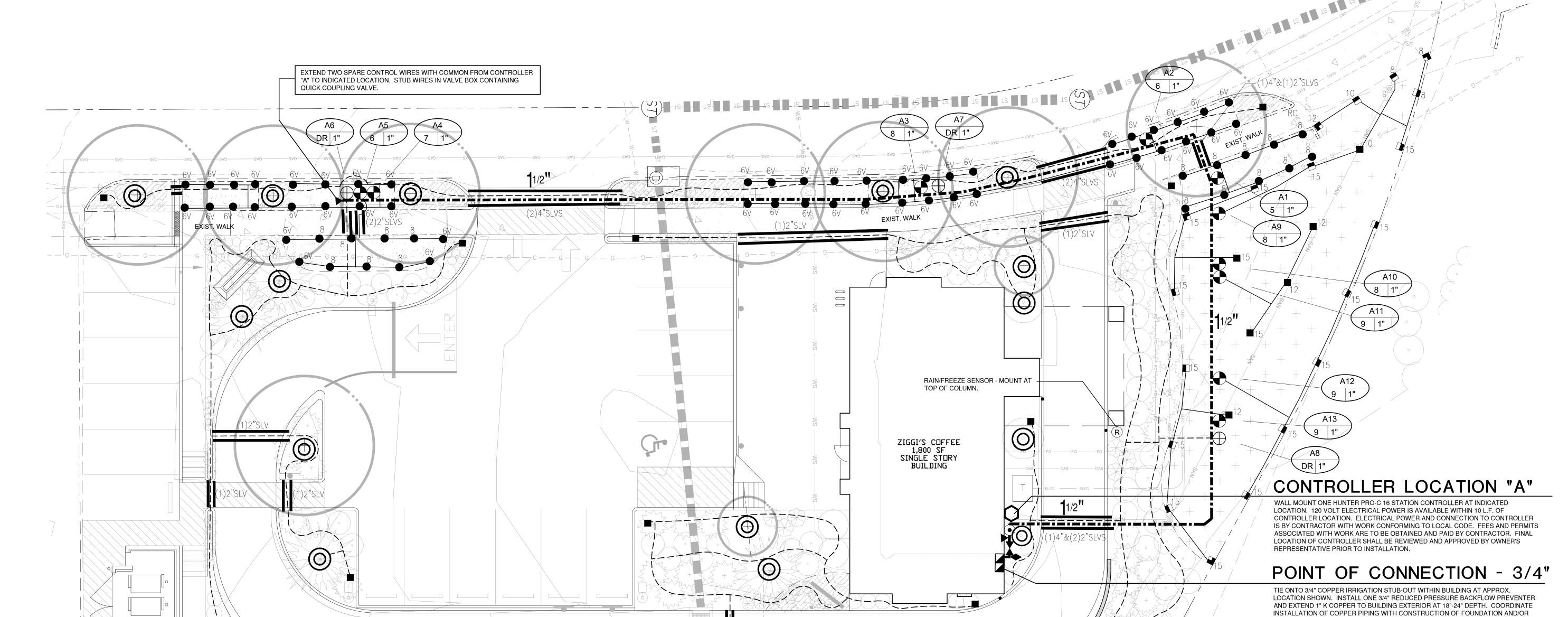
OCTOBER 23, 2020

Drawn By DCZ

Description

Irrigation Plan

**Sheet Number** 



Irrig	ation Equipr	ment and Materia	als Schedule		/
SYMBOL	MANUFACTURER	MODEL NO.	DESCRIPTION	DETAIL NO.	COMMENTS
0 10				<del></del>	

SYMBOL	MANUFACTURER	MODEL NO.	DESCRIPTION	DETAIL NO.	COMMENTS
8	RAIN BIRD	RD06-S-P30-F W/ HE-VAN NOZZ.	POP-UP SPRAY HEAD	1	
	RAIN BIRD	RD12-S-P30-F W/ HE-VAN NOZZ.	HI-POP SPRAY HEAD	15	
R	HUNTER	WRF-CLIK	WIRELESS RAIN/FREEZE SENSOR	12	
•	RAIN BIRD	PEB SERIES - 1" DIA.	MASTER VALVE	4	
▼	RAIN BIRD	44 LRC	QUICK COUPLING VALVE	3	
•	RAIN BIRD	PEB SERIES	ELECTRIC CONTROL VALVE	2	
0	HUNTER	PRO-C SERIES	ELECTRIC CONTROLLER	11	
<b>♦</b>		3/4" DIA.	MANUAL DRAIN VALVE	6	
	FEBCO	860 - 3/4"	BACKFLOW PREVENTER	13	
$\oplus$	RAIN BIRD	XCZ-100-PRB-LC	DRIP VALVE ASSEMBLY	7	
		80 PSI NSF - 1" DIA.	POLYETHYLENE LATERAL	5	
//	CENTENNIAL PLASTICS	3/4" DIA.	POLY DRIP TUBING	9	
		CLASS 200 SOLVENT WELD	PVC SLEEVING		
		CLASS 200 SOLVENT WELD	PVC MAINLINE	5	
		LINE SIZE	DRIP LINE BLOW-OUT STUB	8	
M	NIBCO	T113K - LINE DIA.	GATE VALVE	14	
0		3/4" DIA.	TREE DRIP RINGS	10	
GPM •	,	CC	NTROLLER & STATION NO. CONTROL VALVE SIZE	1	

# Irrigation Construction Notes

1. ALL BASE INFORMATION HAS BEEN TAKEN FROM DRAWINGS PREPARED BY JUMP

- 2. REFER TO TECHNICAL SPECIFICATIONS AND CONSTRUCTION DETAILS FOR INSTALLATION PROCEDURES.
- 3. CONTRACTOR SHALL FIELD VERIFY PRESSURE AT BACKFLOW PREVENTER LOCATION FOR EACH TAP PRIOR TO ORDERING MATERIALS OR STARTING ANY IRRIGATION INSTALLATION AND NOTIFY CONSULTANT OF ANY DIFFERENCES FROM STATED PRESSURE. IF CONTRACTOR FAILS TO NOTIFY CONSULTANT HE ASSUMES FULL RESPONSIBILITY FOR ANY SYSTEM ALTERATIONS. SYSTEM HAS BEEN DESIGNED FOR A STATIC PRESSURE OF 65 PSI (PER CITY OF LAFAYETTE).

#### TAP LOCATION/NUMBER

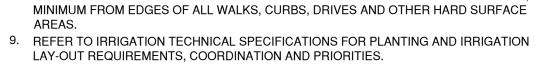
4. CONTRACTOR SHALL COORDINATE INSTALLATION OF SLEEVING WITH INSTALLATION OF CONCRETE FLATWORK AND PAVING. ALL SLEEVING IS BY CONTRACTOR UNLESS OTHERWISE NOTED. UNLESS NOTED OTHERWISE ON IRRIGATION PLANS INSTALL SLEEVING BASED ON SLEEVE SIZING GUIDE BELOW:

PIPE SIZE OR WIRE QUANTITY REQUIRED SLEEVE 1-2" PVC SLEEVE 3/4" - 1" PIPING 1-4" PVC SLEEVE 1-1/2" - 2" PIPING 1-25 CONTROL WIRES 1-2" PVC SLEEVE

NOTE: EACH LENGTH OF SLEEVED PIPE SHOWN SHALL BE ROUTED THROUGH SEPARATE SLEEVE. IRRIGATION WIRE BUNDLE SHALL BE ROUTED IN SEPARATE SLEEVE/CONDUIT WITHOUT IRRIGATION PIPING

- WHERE NOT NOTED ON IRRIGATION PLANS CONTRACTOR TO INSTALL PLASTIC 15 SERIES NOZZLES ON POP-UP SPRAY HEADS SPACED GREATER THAN 12 FEET. INSTALL 12 SERIES NOZZLES ON POP-UP SPRAY HEADS SPACED 10-12 FEET. INSTALL 10 SERIES NOZZLES ON ALL POP-UP SPRAY HEADS SPACED 8-10 FEET. INSTALL 8 SERIES NOZZLES ON POP-UP SPRAY HEADS SPACED 8 FEET AND LESS.
- 6. REFER TO PLANTING PLAN FOR EXACT TREE LOCATIONS AND QUANTITIES, TREES SHOWN ON IRRIGATION PLANS ARE APPROXIMATE.
- 7. CONTRACTOR SHALL REPAIR OF REPLACE ANY EXISTING IRRIGATION EQUIPMENT. TURF, PLANT MATERIAL OR SITE FEATURES DAMAGED DURING NEW INSTALLATION. REPLACEMENT OR REPAIR OF DAMAGED EQUIPMENT OR MATERIAL SHALL BE DETERMINED BY THE OWNER AND THE CONSULTANT.

- 8. VALVE BOXES SHALL BE LOCATED 36" MINIMUM FROM CENTERLINE OF ALL SWALES, 24" MINIMUM FROM EDGES OF ALL WALKS, CURBS, DRIVES AND OTHER HARD SURFACE
- LAY-OUT REQUIREMENTS, COORDINATION AND PRIORITIES. 10. LATERAL PIPING DIAMETERS SHALL INCLUDE 1". 3/4" AND 1 1/4" DIAMETER LATERAL
- 11. CONTRACTOR IS RESPONSIBLE TO WINTERIZE THE IRRIGATION SYSTEM IN THE FALL OF THE YEAR IN WHICH THE IRRIGATION & LANDSCAPE WAS ACCEPTED. CONTRACTOR SHALL ALSO
- 12. ALL IRRIGATION WIRE SHALL BE #14 AWG UFUL WIRE WITH SINGLE, SOLID COPPER CONDUCTOR AND POLYETHYLENE INSULATION (MULTI-CONDUCTOR WIRE IS NOT WIRE COLORS SHALL BE: CONTROL WIRES - RED, COMMON WIRE - WHITE, SPARE
- 13. ALL VALVE BOXES SHALL BE MANUFACTURED BY CARSON INDUSTRIES. MODELS
- #910-10: QUICK COUPLING VALVES, DRIP LINE BLOW-OUT STUBS, GATE VALVES, DRAIN
  - #1419-12: ELECTRIC CONTROL VALVES. #1220-12: DRIP VALVES ASSEMBLIES, MASTER VALVE BOXES AND LIDS SHALL BE GREEN.
- 14. CONTRACTOR SHALL WARRANTY ALL WORK (MATERIALS, EQUIPMENT AND LANDSCAPE AND IRRIGATION BY OWNER.
- 15. THE IRRIGATION BACKFLOW DEVICE WILL NEED TO BE TESTED AND CERTIFIED PRIOR TO THE WATER METER INSTALLATION AND WILL NEED TO BE TESTED AT THE TIME OF WATER TURN ON FOR THE BUILDING. TESTING TO BE COORDINATED AND PAID BY CONTRACTOR.



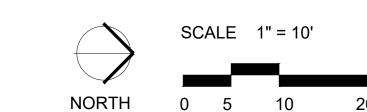
PIPE IS NOT ACCEPTABLE. PERFORM SYSTEM START-UP IN APRIL OF THE FOLLOWING SPRING.

WIRES - BLACK,

MASTER VALVE - BLUE. WATERTIGHT WIRE SPLICES SHALL BE MADE WITH 3M CO. DBR/Y-6 SPLICE KITS.

SHALL BE AS FOLLOWS:

WORKMANSHIP) FOR A ONE YEAR PERIOD FOLLOWING FINAL ACCEPTANCE OF



ARCHITECTURE

**Jump Design Company** 

1733 S. Clarkson Street Denver, Colorado 80210

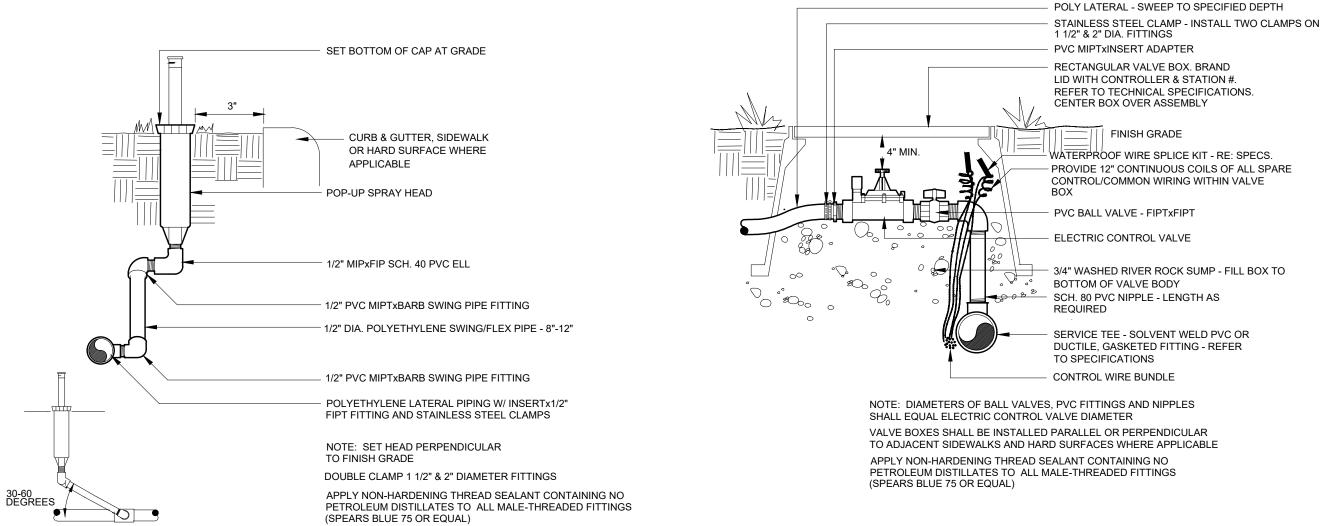


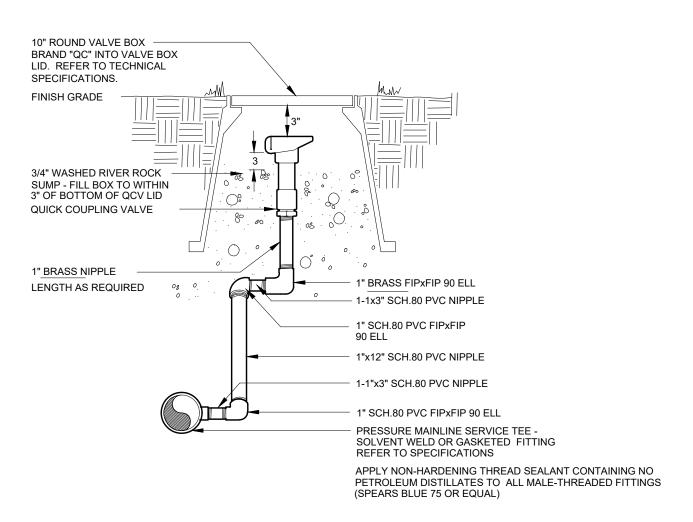
FLOORING SO THAT NO COPPER PIPING IS VISIBLE ON BLDG. EXTERIOR. WITHIN LANDSCAPE AREA INSTALL ONE 3/4" MANUAL DRAIN VALVE, ONE 1" GATE VALVE, ONE 1" MASTER VALVE, ONE QUICK COUPLING VALVE, ONE 1" MASTER VALVE AND EXTEND CLASS 200 PVC MAINLINE AS SHOWN. WORK SHALL CONFORM TO LOCAL CODE. FEES AND PERMITS ASSOCIATED WITH WORK ARE TO BE OBTAINED AND PAID BY CONTRACTOR. FINAL LOCATION OF BACKFLOW PREVENTER SHALL BE REVIEWED AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO START OF WORK.

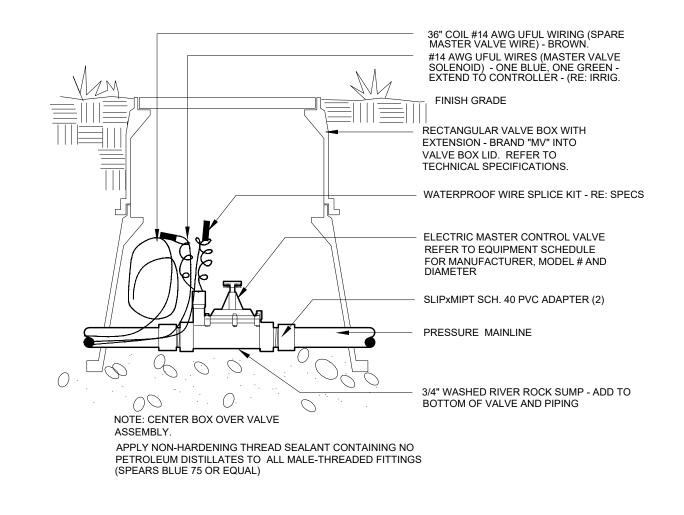
THE CROSS-CONTAMINATION CONTROL (BACKFLOW PREVENTION) DEVICE WILL NEED TO BE CERTIFIED PRIOR TO WATER METER INSTALLATION AND WILL NEED TO BE TESTED AT THE TIME OF WATER TURN-ON FOR THE BUILDING, SUCH TO BE

PROVIDED IN WRITING TO THE CITY ENGINEER.

LOT 5C, SOLA SUBDIVISION FILING NO. 1, REPLAT C, COUNTY OF BOULDER, STATE OF COLORADO













APPLY NON-HARDENING THREAD SEALANT CONTAINING NO

PETROLEUM DISTILLATES TO ALL MALE-THREADED FITTINGS





MAH

Group

(O) 303.778.0608 (F) 303.778.0609

Architectural

1385 S. Colorado Blvd., Penthouse

01/01/2008

Original Date of Licensure

Request verification of dimensions from the Architect as required.

The General Contractor shall check and verify all levels, datums

and dimensions and shall report any and all errors and omissions

This drawings is intended to be used in conjunction withstructural,

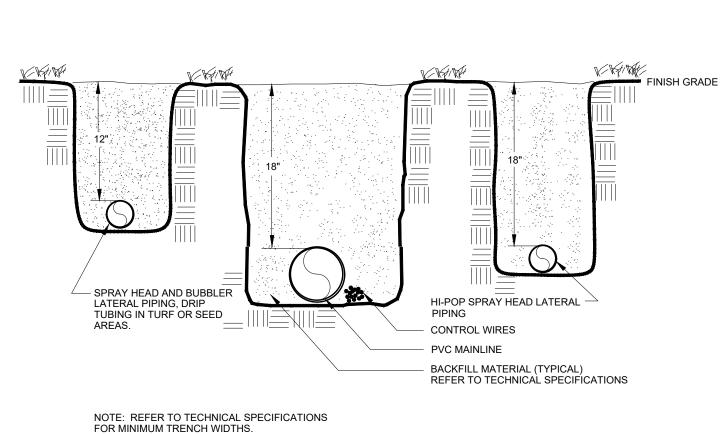
mechanical, electrical and/or any other consultants' drawings that

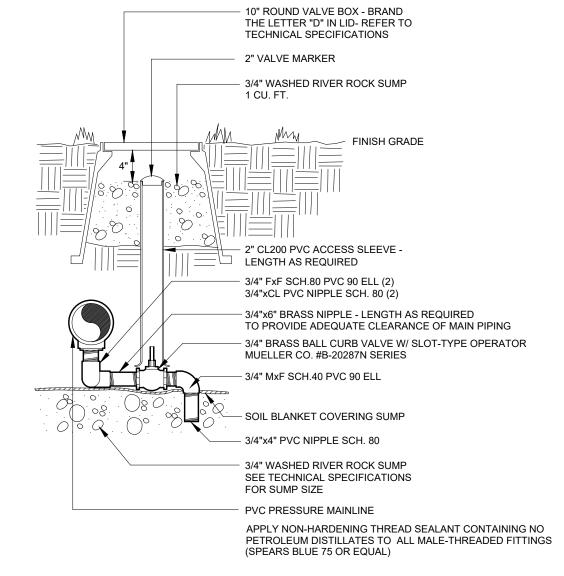
DO NOT SCALE THE DRAWINGS,

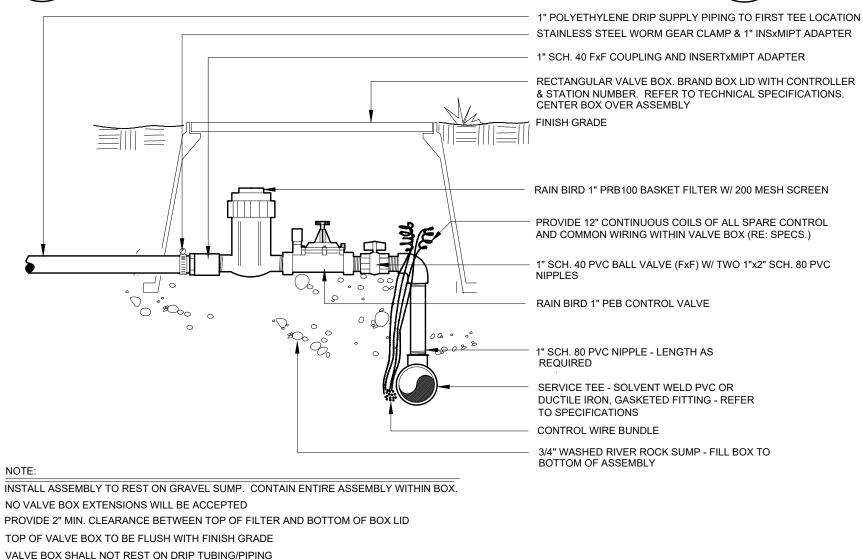
to the Architect immediately.

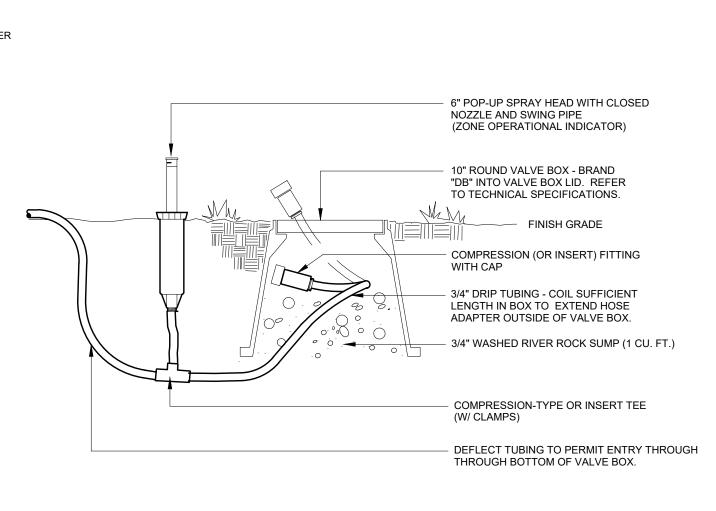
Denver, Colorado 80222

(W) www.maharch.com



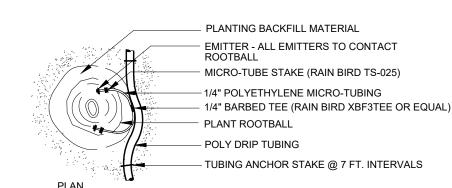


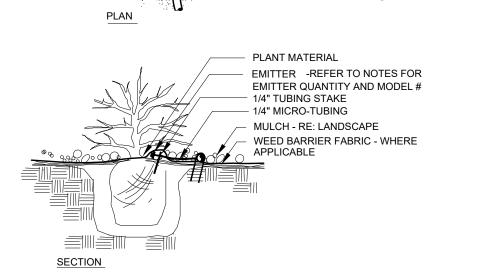






DRIP EMITTER





INSTALL EMITTERS ON OPPOSING SIDES OF ROOTBALL. FLUSH ALL LINES THOROUGHLY PRIOR TO EMITTER INSTALLATION. IF PLANTING ON A 4:1 SLOPE OR GREATER, INSTALL EMITTERS ON UPHILL SIDE OF ROOTBALL. INSTALL TWO 1/2 GPH EMITTERS PER 5 GAL. SHRUB, ONE 1/2 GPH EMITTER PER 1 GAL. PLANT ALL EMITTERS TO BE PRESSURE-COMPENSATING RAIN BIRD XB-05PC SERIES

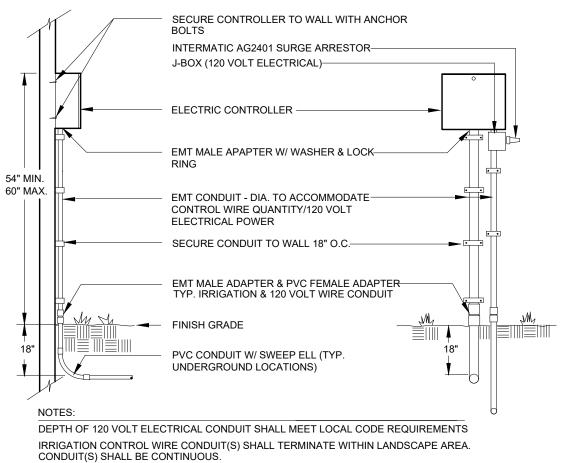
SHRUB AND PERENNIAL PLANTINGS IN BED AREAS

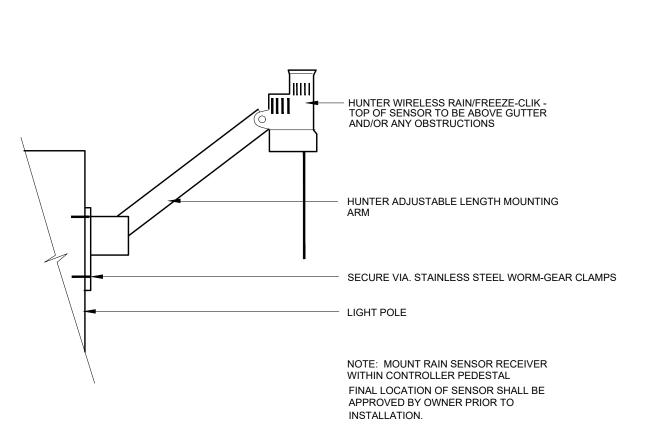
2 GPH PRESSURE COMPENSATING EMITTER INSTALL EIGHT EQUALLY SPACED EMITTERS PLANT ROOTBALL INSERT TEE W/ CLAMPS (TYP.) 3/4" POLY DRIP TUBING (TYP.) 6" SOIL STAPLE (TYP.) - 3/4" PVC BALL VALVE FLUSH VALVE

> ALL TUBING TO BE INSTALLED ON SOIL SURFACE THOROUGHLY FLUSH ALL TUBING PRIOR TO INSTALLING EMITTERS

- 3/4" POLY DRIP TUBING

INSERT TEE W/ CLAMPS





# TREE RING IRRIGATION

MANUAL DRAIN VALVE

DETAIL APPLIES TO TREES PLANTED IN MULCHED BEDS.

**ELECTRIC CONTROLLER** 

DRIP VALVE ASSEMBLY

RAIN/FREEZE SENSOR

DRIP LINE FLUSH-OUT AND

SUBMITTAL #2 01.26.21 SUBMITTAL #3 05.14.21 07.02.21 SUBMITTAL #4 Not to Scale Date Drawn OCTOBER 23, 2020 Drawn By DCZ Description Irrigation Details

10.26.20

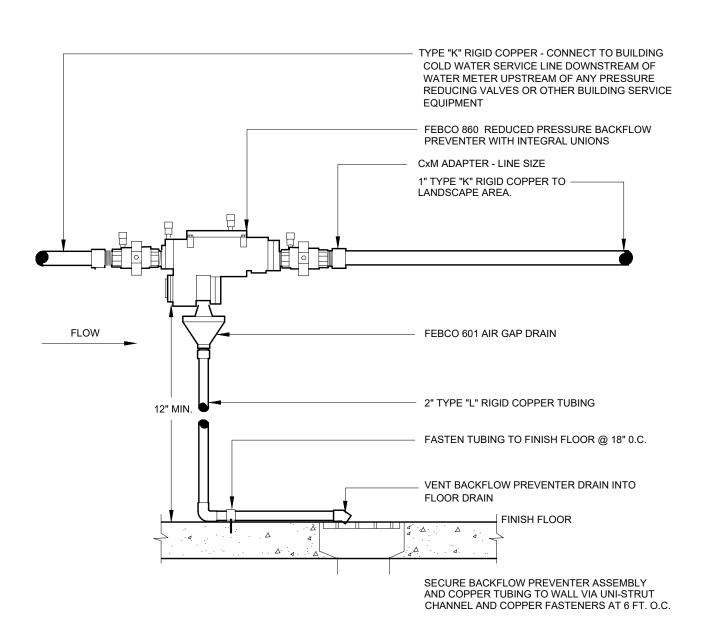
SUBMITTAL #1

Sheet Number

OPERATIONAL INDICATOR

120 VOLT ELECTRICAL WIRING SHALL NOT BE ROUTED THROUGH IRRIGATION WIRE

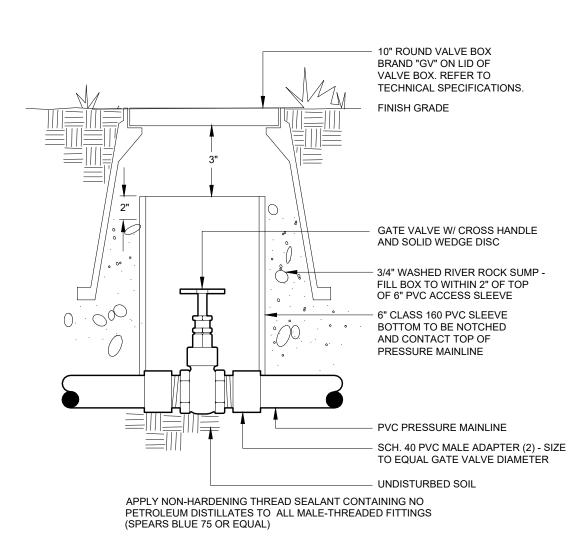
LOT 5C, SOLA SUBDIVISION FILING NO. 1, REPLAT C, COUNTY OF BOULDER, STATE OF COLORADO



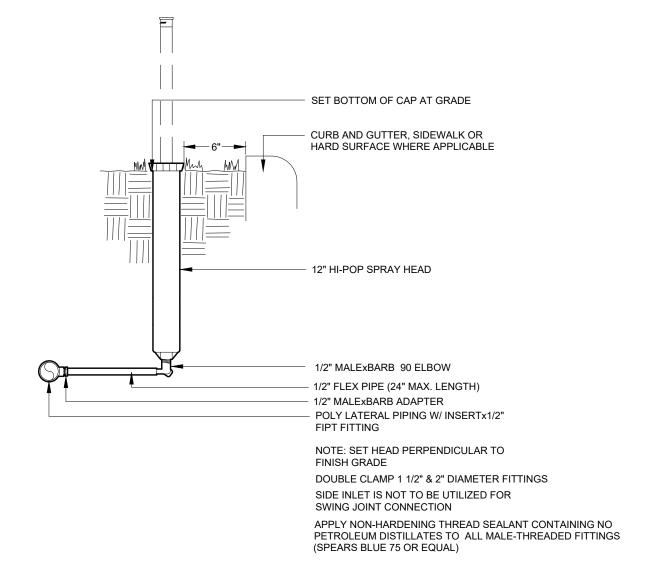
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BACKFLOW PREVENTER

**—**(13)



GATE VALVE

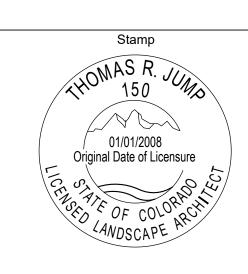


HI-POP SPRAY HEAD

**(15)** 



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Notes

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GI'S COFFEE-LAFAYETTE

IS

SUBMITTAL #1 SUBMITTAL #2 SUBMITTAL #3 SUBMITTAL #4 10.26.20 01.26.21 05.14.21 07.02.21

Scale Not to Scale

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Date Drawn

Drawn By

OCTOBER 23, 2020

DCZ Description

Irrigation Details

Sheet Number

11.2